

**TOWN OF SUNAPEE - ZONING BOARD OF ADJUSTMENT**  
**A PUBLIC MEETING WILL BE HELD THURSDAY,**  
**DECEMBER 7<sup>th</sup>, 2023, AT 6:30 PM,**  
**AT THE SUNAPEE TOWN MEETING ROOM ON THE FOLLOWING CASE(S):**  
Join Zoom Meeting:  
<https://us06web.zoom.us/j/85746796308?pwd=UbaWcW4oaoGrl6psPxXIHa53HZv6yG.1>  
Passcode: 781948

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**NEW CASES**

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Case #VA 23-15 Parcel ID: 0104-0022-0000  <i>Growth Cap Management, LLC</i> <i>27 Prospect Hill Rd</i> <i>Village Residential District</i>	Requesting a Variance from Article III, Section 3.10 to reduce the 10,000 square foot requirement per dwelling unit to allow the addition of 5 dwelling units. Reducing the 10,000 sq. ft requirement to 6,075 sq. ft.
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**CONTINUED CASES**

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Case #VA 23-09 Parcel ID: 0133-0087-0000  <i>Sunapee Harbor Riverway</i> <i>Quack Shack</i> <i>72 Main St.</i> <i>Village Commercial District</i>	Requesting a Variance from Article III, Section 3.40(c) to allow a 9.5' x 9.5' panelized freezer to be placed within the 50-foot shoreline setback of Sugar River.
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Case #VA 23-12 Parcel ID: 0104-0057-0000  <i>Hugh &amp; Sarah McCann</i> <i>46 Oak Ridge Rd</i> <i>Residential District</i>	Requesting a Variance from Article III, Section 3.10 to allow an increase of 48 square feet to replace the current 6' x 8' shed with an 8' x 12' shed within the 50-foot road setback. Reducing the 50-foot setback to 30 feet.
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**\*NOTE: Any and all submissions must be provided 5 days prior to the meeting.**

**NOTE:** In the event the meeting is canceled, the agenda will be continued to the next scheduled Zoning Board meeting.

Town of Sunapee

23 Edgemont Rd., Sunapee NH

Phone (603) 763-2212 ext. 1023 / Email [zoning@town.sunapee.nh.us](mailto:zoning@town.sunapee.nh.us)Website [www.town.sunapee.nh.us](http://www.town.sunapee.nh.us)

CASE# \_\_\_\_\_

## Zoning Board of Adjustment (ZBA) Variance Application

Questions? Please contact the Land Use & Assessing Coordinator or the Planning & Zoning Director. All dates and deadlines are published on the ZBA calendar; see Page 6. For helpful guidelines on completing this application, see page 4-5.

**Attach additional sheets of paper as necessary.**

1. Landowner(s) Name(s): GROWTH CAP MANAGEMENT, LLC
2. Parcel ID: 104/22 3. Zoning District: \_\_\_\_\_
4. Project Location (Street & #): 27 PROSPECT HILL
5. Mailing Address: 7 HANSON DR, MERRIMACK, NH
6. Phone Number: 603-769-7521
7. Email: REBERT@RPPROCONTRACTING.COM

☒ **ABUTTERS LIST:** You must prepare a list of all abutting property owners and attach it to your application. If you have any difficulty, consult the town office, but the accuracy of the list is your responsibility. You can download an abutters list by using the Tax Maps/GIS on the Town's website (under Assessing Department).

☐ **FEES:** \_\_\_\_\_ Application Fee: \$ \_\_\_\_\_ \* Make check payable to Town of Sunapee.  
 \_\_\_\_\_ Abutter Notification Fee: \$ \_\_\_\_\_ \* per abutter. Make payable to US Post Office.

\* NOTE: Rates and fees are subject to change. For the most current rate, please check with the Town Office.

☒ **ATTACHMENTS:** To assist the board, please attach sketches, photos, surveys, plot plans, pictures, construction plans, or whatever may help explain the proposed use. Include copies of any prior Zoning or Planning decisions concerning the property. If you have something in writing stating that your proposed project does not meet zoning, please attach that to this application; it may be a letter, email or denied permit. A professional survey by a licensed surveyor is strongly recommended for variances related to setback requirements. For properties located in the Shoreline Overlay District, a professional survey is required. Supplemental materials for the Board must be submitted no later than five (5) days before the scheduled hearing, however, adequate plans and exhibits must accompany the application. This includes, but is not limited to: lot dimensions, dimensions of proposed and existing structures, identification of abutting properties and roads, locations of water bodies, wetlands, septic systems, etc.

*Applications will not be considered complete unless all the questions are answered, the fees are paid, and an Abutters Mailing List is attached.*



**GENERAL DESCRIPTION:** This is a place to give a general summary of the proposed project as an introduction and overview for the public hearing. For example, where is the property located? Describe the property. Give area, frontage, side and rear lines, slopes, natural features, etc. What do you propose to do? Why does your proposal require an appeal to the board of adjustment?

NO ALTERATION OF FOOTPRINT OF THE EXTERIOR  
OF THE BUILDING, DIVIDING ONLY THE INTERIOR OF  
A FINISH AREA INTO 4 ONE BEDROOM APTS AND ONE STUDIO.

Attach additional sheets of paper as necessary.

**SPECIFIC REASON THE VARIANCE IS NECESSARY:** A Variance is requested from Zoning

Ordinance, Article III, Section 3.0 to permit TO REDUCE

THE 12,000 SQ. FT ALLOWING THE ADDITION OF  
5 DWELLING UNITS AT 27 PROSPECT HILL RD

**Facts in support of granting the variance:**

1. Granting the variance would not be contrary to the public interest because:

THE PROPOSED PLAN DOES NOT CONFLICT  
WITH EXPLICIT PURPOSE OF ORDINANCE OR NOT  
ALTER THE ESSENTIAL CHARACTER OF NEIGHBORHOOD.

2. If the variance were granted, the spirit of the ordinance would be observed because:

AS IT IS THE PUBLIC'S INTEREST TO UPHOLD THE  
SPIRIT OF THE ORDINANCE.

3. Granting the variance would do substantial justice because:

THE BENEFIT  
TO THE APPLICANT SHOULD NOT BE OUTWEIGHED  
BY HARM TO THE GENERAL PUBLIC.



4. If the variance were granted, the values of the surrounding properties would not be diminished because: \_\_\_\_\_

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because: \_\_\_\_\_

- and -

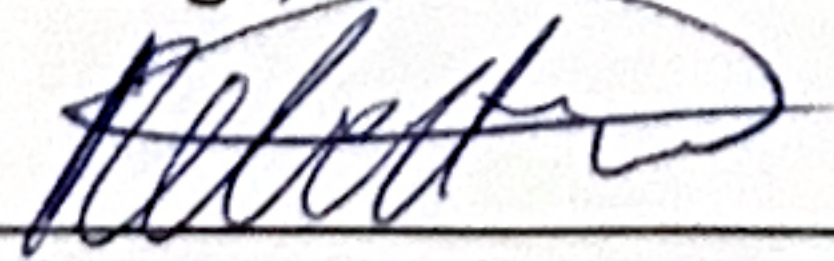
ii. The proposed use is a reasonable one because: IT DOES NOT  
ALTER THE ESSENTIAL CHARACTER OF  
NEIGHBORHOOD. AND IT WOULD BE ESSENTIAL TO  
HAVE MORE HOUSING FOR THE CITY OF SUNAPEE.

b. Explain how, if the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it. THE APPLICANT CAN SATISFY THE  
UNNECESSARY HARDSHIP REQUIREMENTS.

NOTE:

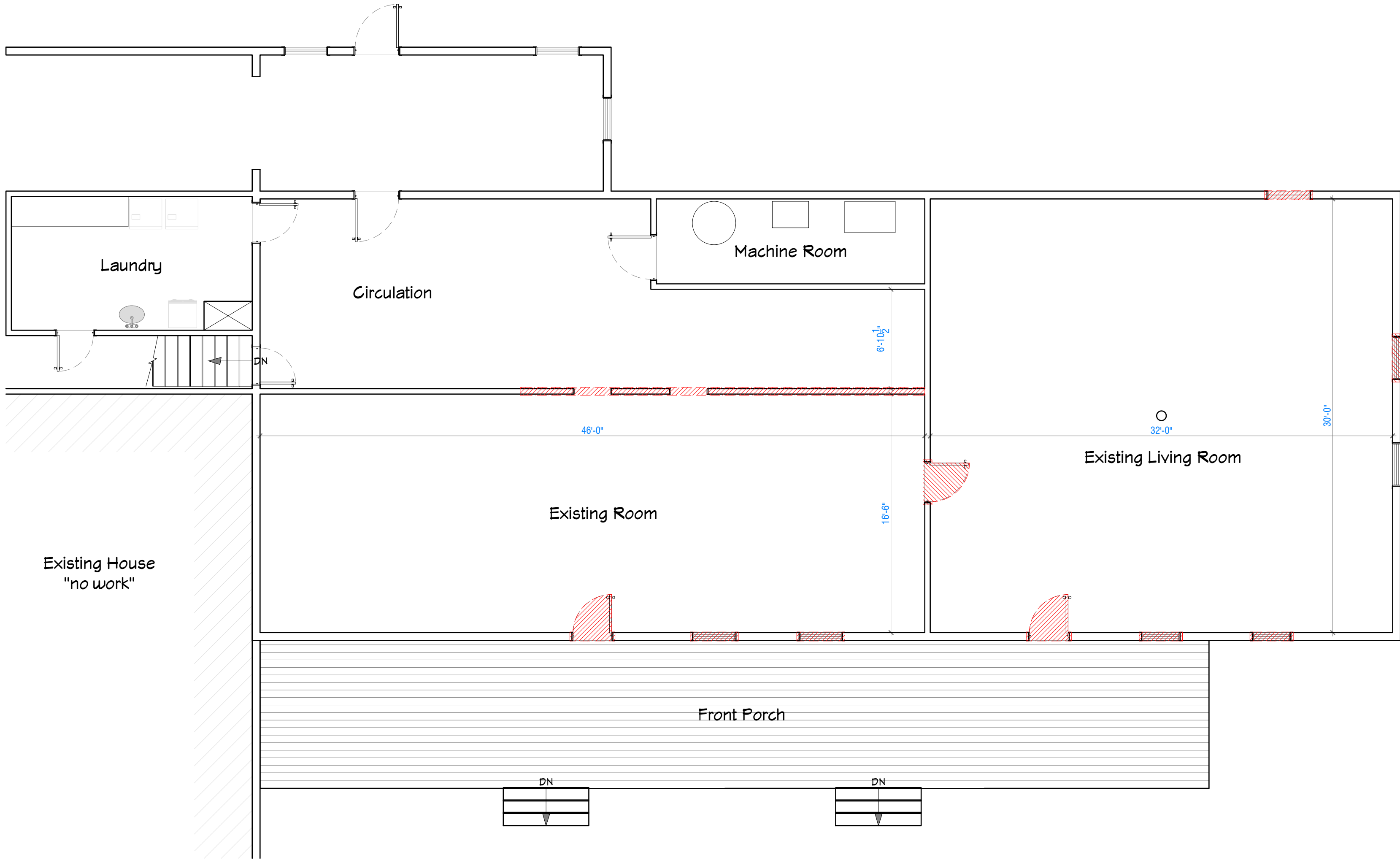
For person(s) with physical disabilities,  
please see RSA 674:33 regarding alternative hardship criteria for a Variance.

**SIGNATURE:** I understand that the public hearing will be held at the scheduled date and time unless a request is made by me for a new hearing. Any rehearing will require a new public notice and notification to abutters, the cost of which will be borne by the applicant. Further, I hereby give permission to the ZBA members and zoning officials to visit the subject property prior to the public hearing. To the best of my knowledge, the above is true and correct.

  
Landowner(s) Signature(s)

10/06/2023  
Date





1 Existing First Floor  
3/16" = 1'-0"

REVISION TABLE		DESCRIPTION
NUMBER	DATE	

Existing 1st Floor Plan

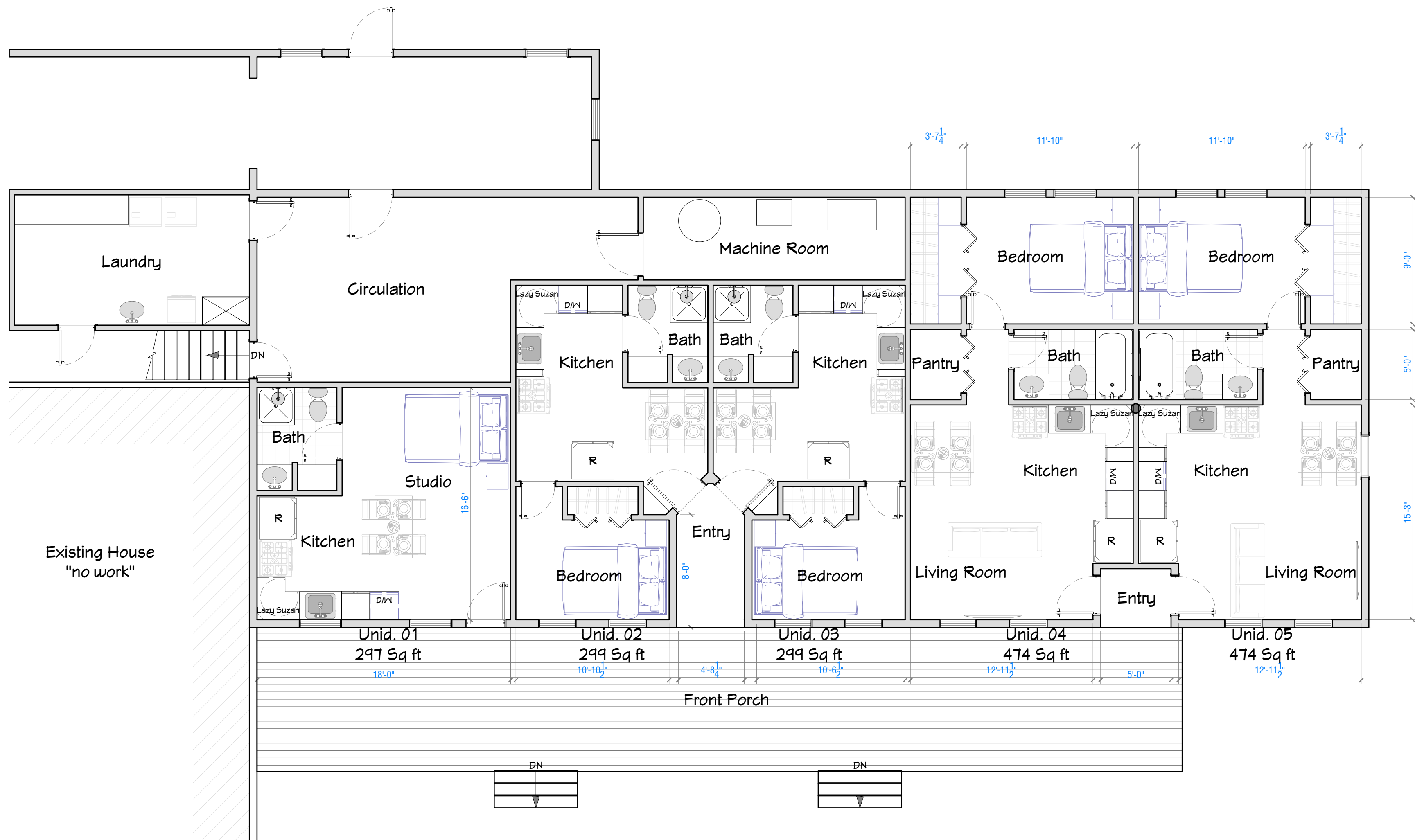
DRAWINGS PROVIDED BY:  
**RP PRO PAINT & CONTRACTING LLC**  
7 Hansom Drive - Merrimack, NH 03054  
(603) - 769-7521

DATE:  
09/26/2023

SCALE:  
AS NOTED

SHEET:  
A1.00





REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

Proposed 1st Floor Plan

DRAWINGS PROVIDED BY:  
**RP PRO PAINT & CONTRACTING LLC**  
 7 Hanson Drive - Merrimack, NH 03054  
 (603) - 769-7521

DATE:

09/26/2023

SCALE:

AS NOTED

SHEET:

A2.00



# Certificate of Zoning Compliance (CZC) Permit Application

## TOWN OF SUNAPEE

23 Edgemont Rd., Sunapee, New Hampshire 03782  
(603) 763-2212 ext. 1023

Email [zoning@town.sunapee.nh.us](mailto:zoning@town.sunapee.nh.us)

Website [www.town.sunapee.nh.us](http://www.town.sunapee.nh.us)

RECEIVED

SEP 29 2023

TOWN OF  
SUNAPEE

FOR TOWN USE ONLY  
DATE APPLICATION REC'D: 09/28/2023

FEE PAID: \$ METHOD:

ZONE:

PARCEL ID:

PERMIT APPROVAL #

Revised 7/21/2023

**Thank you for applying for a permit!** A Certificate of Zoning Compliance (CZC) is required for most construction in Sunapee (see 1-8 below). Your project will be reviewed to make sure it meets the town's zoning regulations. All references (in parentheses and underlined) refer to a specific regulation in the Zoning Ordinance. The complete ordinance is available on our website and at the town office.

**NEXT STEP:** After staff review, the application will be moved to the next Board of Selectmen's meeting for final approval.

**PICK UP:** Your permit will be ready to pick up starting the afternoon after the Board of Selectmen meeting. If you want it mailed to you, please let us know.

**EXPIRATION:** Permits will expire in 12 months if no earnest or substantial effort has been made to carry out the construction or alteration (8.23 & 8.25).

**QUESTIONS?** Please contact the Planning & Zoning Department anytime with questions.



**WHEN IS A CZC PERMIT REQUIRED?** A CZC is required prior to beginning any of the following activities (8.21):

1. Will a new structure be constructed or installed? ..... ☒ YES ☐ NO
2. Will an existing structure be expanded? ..... ☐ YES ☒ NO
3. Will a dwelling unit be added to an existing structure? ..... ☒ YES ☐ NO  
A "dwelling unit" is like an apartment or additional house. It includes independent cooking, sleeping, and sanitary facilities. (XI)
4. Does the project involve a structure owned by the Town of Sunapee (municipal building)? ..... ☐ YES ☒ NO
5. Will a bedroom or kitchen be added to an existing structure? ..... ☒ YES ☐ NO
6. Will an existing structure be demolished? ..... ☒ YES ☐ NO
7. Did the Planning Board approve a Site Plan for this proposal? ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of the board's Notice of Decision.
8. Does the project involve interior renovations in excess of \$25,000? ..... ☒ YES ☐ NO

## DESCRIPTION

PROPERTY STREET ADDRESS: 27 PROSPECT HILL RD Lot Size: 2.65 acres

OWNER(s) Name(s): GROWTH CAP MANAGEMENT, LLC

Mailing Address: 7 HANSON DR MERRIMACK, NH, 03054

Email: REBERT@RPPROCONTRACTING.COM Phone #: 603-769-7521

Preferred method of contact: ☒ Phone ☐ Mail ☐ E-mail



NAME OF BUSINESS at this location (if applicable): \_\_\_\_\_

TYPE OF PROPERTY:

☐  
☐

Single-Family  
Two-Family

☒  
☐

Multi-family (3+ units)  
Commercial

☐  
☐

Municipal  
Other \_\_\_\_\_

NAME OF RIVER / LAKE / POND abutting property (if any): \_\_\_\_\_

Was any decision made by the Planning or Zoning Board regarding this project? ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of the board's Notice of Decision.

WRITTEN DESCRIPTION of proposed project: THE PROPOSED PROJECT WOULD  
BE ADDING 5 MORE UNITS ON THE FIRST FLOOR.

Estimated value of construction \$ 175,000 Estimated start date: 10/15/2023

**WATER & SEWER**

9. ☐ FOR PRIVATE SEPTIC: Will this project result in increased septic flow or water utilization? ☐ YES ☒ NO  
☐ IF YES, attach a copy of your State septic system approval. Contact State of NH Department of Environmental Services with questions at (603) 271-2147.

10. ☐ FOR PUBLIC SEWER OR PUBLIC WATER:

- a. Will this project involve any new residential structure, or any change in living space to a residential building? (do not include a typical shed or garage, unless there is living space within it) ..... ☒ YES ☐ NO
- b. Will this project involve any hook-up, disconnect, or demolition for a structure on the town water or sewer system? ..... ☐ YES ☒ NO

☐ IF YES, attach a copy of your Permit Connection Approval from the Sunapee Water & Sewer Department. Forms are available at the town office. Contact the Sunapee Water and Sewer Department with questions at (603) 763-2115, [sunws@town.sunapee.nh.us](mailto:sunws@town.sunapee.nh.us).

**DIMENSIONS & MEASUREMENTS** – This section is ONLY for new structures or expanding structures, including any change in the building envelope, height or footprint. **CHECK HERE IF NOT APPLICABLE** ☐

11. ☒ **DRAWINGS:** Attach a copy of any drawings, floor plans, or elevations showing dimensions and measurements.

12. **Dimensions:**

Current Structure

Maximum height: 3.50 ft.

Square footage: 12.628 sq. ft.

Proposed Structure

Maximum height: 3.00 ft.

Square footage: 1,843 sq. ft.



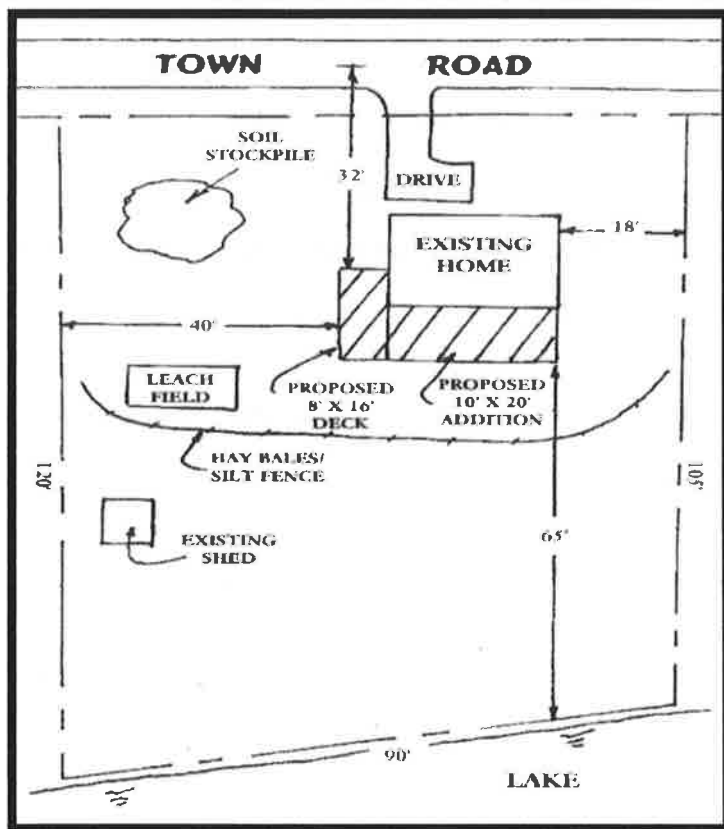
**13. What are the setback measurements for the proposed structure?**  
**See Page 6 for Setback Requirements.**

How to measure: Measure at right angles, between the property boundary and the furthest point of the structure.

	<u>Current Structure</u>	<u>Proposed Structure</u>
To center of road	_____ ft	_____ ft
Side 1	_____ ft	_____ ft
Side 2	_____ ft	_____ ft
Rear property line	_____ ft	_____ ft
Waterbody	_____ ft	_____ ft

14. ☐ **SURVEY:** If you have a Survey of the property, please attach a copy.

15. ☐ **ATTACH A SITE SKETCH / PLOT PLAN DRAWING.** See sample below.



**ABOUT HEIGHT RESTRICTIONS IN SUNAPEE**

- Definition of "Maximum Structure Height": The vertical distance measured from the lowest ground elevation around the structure to the highest level of the roof (excluding cupolas, weathervanes, etc.). (XI)
- 40-feet is the maximum structure height allowed in all districts. (3.10)
- The maximum height of any windowsill or roof eaves shall be no more than 30 feet above the grade directly below it. Windows or eaves located in roof appendages such as cupolas or skylights shall be excluded from this ordinance. (3.40.i)
- If a structure is allowed a reduced side or rear setback due to inadequate lot size (see chart on p. 6), the portion of the structure in the area of reduced setback shall have a maximum height of 25'. (3.10)



## ZONING QUESTIONS

16. **WETLANDS: Will any wetlands be disturbed or impacted?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your State Wetlands permit. NOTE: only certified specialists can delineate wetlands.  
Contact State of NH Department of Environmental Services with questions at (603) 271-2147.
17. **DRIVEWAY: Will a new driveway be altered or constructed?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your town Driveway Permit approval or application. Applications are available at the  
town office and on the town website.
18. **ROUTE 11, 103, 103B: Is this a new construction project on Routes 11, 103 or 103B?** ..... ☐ YES ☒ NO  
Note: see the requirements for maintaining or planting a 25-foot vegetative buffer. (3.40.o)
19. **RETAINING WALL: Will this project involve a retaining wall over 42" high?** ..... ☐ YES ☒ NO  
Note: retaining walls over 42" must meet all setback requirements. (3.40.i)
20. **STEEP SLOPE: Will any construction take place on a slope that exceeds 25% and has an elevation change of more than 20-feet? (3.40.l)** ..... ☐ YES ☒ NO
21. **1,000 SF & 15% SLOPE: Will 1,000 square feet of land be disturbed on a slope greater than 15%?** ..... ☐ YES ☒ NO  
☐ IF YES, attach an Erosion Control Plans (3.40.n). Contact the Zoning Administrator with questions.
22. **100,000 SF IMPACT: Will 100,000 square feet of land be cleared or disturbed?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your State of NH Alteration of Terrain Permit, and a copy of an engineered Erosion  
Control Plan. (3.40.n). Contact the Zoning Administrator with questions.

**SHORELINES OVERLAY DISTRICT** – This section is ONLY for properties located within 250-feet of a public water body. Public Water Bodies include: Sugar River, Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond and Perkins Pond.

**CHECK HERE IF NOT APPLICABLE** ☒

23. **FLOODPLAIN: Is any portion of this property located in the 100-year FEMA floodplain?** ..... ☐ YES ☒ NO  
Note: this application will be reviewed per Sunapee Floodplain Development Ordinance. If you have a LOMA (Letter of Map Amendment) showing the project is outside the floodplain, you may attach a copy to this application.
24. **STATE PERMIT: Have you applied or received a permit from the State for this project?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy. NH DES Permit # \_\_\_\_\_  
Contact State of NH Dept. of Environmental Services with questions at (603) 271-2147.
25. **LAND DISTURBANCE / SHORELINES: Will any Land Disturbance, Construction, Filling, Grading or Dredging occur within 250-feet of the lake, pond or river?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your Land Disturbance Permit and Erosion Control plans. (4.33.B.8.a.i). Land  
Disturbance Permit applications are available at the town office and on the town website.
26. **150-FOOT WOODLAND BUFFER: Will any trees or vegetation be removed within 150-ft of the lake, pond or river?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of a Tree Cutting & Vegetation Removal permit. Permit applications are available at the  
town office and on the town website.
27. **50-FOOT WATERFRONT BUFFER: Will this project involve any parking area or any structures within 50-feet of the lake, pond or river? (3.40.c)** ..... ☐ YES ☒ NO
28. **LOT COVERAGE: What percentage of the lot will be covered? SEE PAGE 6 for restrictions.**

	Current	Proposed
<b>Impermeable Surfaces</b> (not allowing water to pass through)	_____ %	_____ %
<b>Permeable Surfaces</b> (having pores or openings that permit water to pass through)	_____ %	_____ %
<b>TOTAL LOT COVERAGE</b>	_____ %	_____ %



## IMPORTANT INFORMATION FOR PROPERTY OWNERS

### About State Building Codes:

Property owners often ask "do I have to build things 'to code' in New Hampshire?" Yes! The State of New Hampshire has adopted state-wide building codes that are in effect in all towns and cities (see NH RSA 155-A, as may be amended). There are codes for electrical, plumbing, construction, mechanical, energy conservation, etc. Although the Town of Sunapee does not offer local inspection services, plan review, or enforcement of State building code compliance, we recommend that you contact your contractor or other professional to assist you with questions related to building codes. You may direct questions to the New Hampshire Department of Safety, Bureau of Building Safety & Construction, (603) 223-4289, [fmo@dos.nh.gov](mailto:fmo@dos.nh.gov).

### What is your Parking & Traffic Plan during construction?

Sunapee's Town Parking Ordinance prohibits parking on the road. Also, parking off the side of a road could cause damage to the Town's right-of-way, drainage ditches and infrastructure. The person who causes damage may be liable. In addition, no road may be blocked without first getting permission from the Police Department. To make special parking arrangements during construction, communication with the police and highway department about your plan is key. Contact Info: Police Department (603) 763-5555 / [david.cahill@sunapeepd.com](mailto:david.cahill@sunapeepd.com); Highway Director (603) 763-5060 [ScottH@town.sunapee.nh.us](mailto:ScottH@town.sunapee.nh.us).

### About Dig Safe®:

Be sure to contact Dig Safe® before you or your contractor does any digging, even for small projects. There are state laws and common-sense reasons why you must contact Dig Safe before you dig. Dig Safe® has a system to notify utility companies that might have underground services, so those companies can flag the utilities before someone starts digging. For more info, call 811 or visit [www.digsafe.com](http://www.digsafe.com).

### About Energy Code:

Did you know that the New Hampshire Public Utilities Commission (PUC) will review your proposal to make sure it meets with the State's energy code? They will review the insulation factors, types of window ratings, etc. See RSA 155:A10-a (as may be amended). To take advantage, contact the PUC. For more info, contact (603) 271-6306, e-mail [EnergyCodes@puc.nh.gov](mailto:EnergyCodes@puc.nh.gov) or website <http://www.puc.state.nh.us/energycodes/residential.htm>.


### About Asbestos:

The State of New Hampshire has established certain requirements for licensing asbestos contractors and addressing asbestos hazards. Many homeowners have asbestos-containing materials in their homes and there are requirements if a contractor or a homeowner disturbs or removes asbestos. The State has rules about where you can dispose of or how to get rid of materials that have asbestos. For more info, call the State of NH's Asbestos Management Division at (603) 271-1370 or visit [www.des.nh.gov](http://www.des.nh.gov) or [www.epa.gov/asbestos](http://www.epa.gov/asbestos).

## SIGNATURE(S) & AUTHORIZATION

### ALL OWNERS MUST SIGN THIS APPLICATION

BY SIGNING BELOW, I certify that the representations contained herein are true and accurate to the best of my knowledge and I hereby acknowledge that the town is relying on my representations contained within this application to evaluate whether to issue the permit or certificate. I acknowledge that in evaluating this request, the town is not independently verifying or certifying any representations made by the applicant. I hereby grant permission for site visits and inspections by zoning officials(s).

Owner Signature:  Printed Name: ROBERT PARPINELLI Date: 09/28/2023

Owner Signature: \_\_\_\_\_ Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

IF USING AN AUTHORIZED AGENT: If the property owner wishes to authorize someone else to apply on their behalf, they must submit a letter attached to this application. The authorization letter must be signed by all property owners and contain the following statement: "(name/company/contact info) has authority to act on my behalf regarding the property and this application and is authorized to submit, amend, alter or supplement this application."

Authorized Agent Signature: \_\_\_\_\_ Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

THANK YOU FOR COMPLETING THE APPLICATION!



**REFERENCE CHART**

(3.10 &amp; 3.20)

Requirement	Village Comm.	Village Residential	Mixed Use I	Mixed Use II	Mixed Use III	Residential	Rural Residential	Rural Lands
Minimum Lot Size	0.5 Acres	0.5 Acres	0.5 Acres	1.0 Acres	1.5 Acres	1.0 Acres	1.5 Acres	3.0 Acres
Maximum Residential Density (du=dwelling unit)	1du 10,000 Square Ft.	1du 10,000 Square Ft.	1du 0.5 Acres	1du 0.5 Acres	1 du / 1.5 Acres	1du 1.0 Acres	1du 1.5 Acres	1du 3.0 Acres
Minimum Road Frontage	75'	75'	75'	75'	100'	75'	100'	150'
Minimum Front Setback (Rt. 11,103, 103B)	75'	75'	75'	75'	75'	75'	75'	75'
Minimum Front Setback (All other roads as defined in Article XI)	40'	40'	40'	40'	50'	50'	50'	75'
Side & Rear Setbacks for Lots Meeting or exceeding minimum lot size or Lots which are not Pre-Existing	10'	15'	15'	25'	25'	15'	25'	50'
Side & Rear Setbacks for Pre-existing Lots Below Minimum Size	10'	10'	10'	15'	15'	10'	15'	25'
Maximum Lot Coverage	80%	60%	80%	50%	40%	50%	40%	30%
* Maximum Structure Height *	40'	40'	40'	40'	40'	40'	40'	40'
* If a structure is allowed a reduced side or rear setback due to inadequate lot size, the portion of the structure in the area of reduced setback shall have a maximum height of 25'.								
Requirement	Village Comm.	Village Residential	Mixed Use I	Mixed Use II	Mixed Use III	Residential	Rural Residential	Rural Lands
<b>MINIMUM LOT SIZE (FOR PROPERTIES IN A SPECIAL OVERLAY DISTRICT):</b>								
1) Shoreline	1.0 Acres	1.0 Acres	1.0 acres	N/A		1.0 Acres	1.5 Acres	1.5 Acres
2) Aquifer	2.0 Acres	2.0 Acres	2.0 Acres	2.0 Acres		2.0 Acres	2.0 Acres	2.0 Acres
3) Wetlands	1.5 Acres	1.5 Acres	1.5 Acres	1.5 Acres		1.5 Acres	1.5 Acres	1.5 Acres
<b>MAXIMUM LOT COVERAGE (FOR PROPERTIES IN A SPECIAL OVERLAY DISTRICT):</b>								
1) Shoreline Impermeable	60%	30%	N/A	N/A		30%	25%	20%
Shoreline Permeable & Impermeable combined	80%	60%	N/A	N/A		50%	40%	30%
2) Aquifer	20%	20%	20%	20%		20%	20%	20%
3) Wetlands	0%	0%	0%	0%		0%	0%	0%





**TOWN OF SUNAPEE**  
**Water and Sewer Commission**

P.O. Box 347, Sunapee, NH 03782-0347  
(603) 763-2115

**Permit Application**

**Connection to Sunapee Municipal Water/Sewer System**

Name: GROWTH CAP MANAGEMENT Map/Lot: 000 30/6

Mailing Address: 7 HANSON DR Street Location of New Service:  
MERRIMACK, NH 27 PROSPECT HILL

Telephone: 603-769-7521 SUNAPEE, NH

Number of Units Proposed (0-5 Bedrooms=1 Unit) 5 UNITS

Approximate Date of Installation 10/15/2023

Name of Contractor RP PRO CONTRACTING, LLC

Address of Contractor 7 HANSON DR MERRIMACK

Phone # of Contractor 603-494-1974

Signature of Applicant [Signature] Date 09/28/2023

Sewer Attachment Fee \_\_\_\_\_ Sewer Bond Fee \_\_\_\_\_

Water Attachment Fee \_\_\_\_\_

Total Fee Due Prior to Connection to Municipal System \_\_\_\_\_

Total Fee Received By \_\_\_\_\_ Date \_\_\_\_\_



**PERMIT FEES****THERE IS NO CHARGE IF THE PROJECT ONLY INVOLVES INTERIOR RENNOVATIONS.**

To meet this requirement, the interior renovation may not include adding bedrooms, kitchens or dwelling units.

NOTE: The Town does not require a permit application for interior renovations under \$25,000. (VIII.8.21)

**RESIDENTIAL PROJECTS** - (single family and two-family dwellings):

New Home - Including manufactured housing and prefabricated housing, etc. Finished space only.

Be sure that you also add an additional fee below for each shed, deck, porch or garage.

.....Up to 2000 S/F	\$600	\$	_____
.....2000 – 5000 S/F	= \$1200	\$	_____
.....5000 S/F	= \$1,800	\$	_____

Residential Additions or Alterations - This section includes additions, expansion of footprints, or any project that involves the adding of a bedroom, kitchen or dwelling unit.

.....Up to 500 S/F	= \$180	\$	_____
.....500 S/F+	= \$360	\$	362.00

Sheds / Decks / Porches/Permanent Pools .....\$60 / each \$ \_\_\_\_\_

Garages ..... \$300 \$ \_\_\_\_\_

After-the-Fact Zoning Compliance Permit - Residential or other non-commercial projects .. \$300 \$ \_\_\_\_\_

A regular zoning compliance application must also be submitted with this permit.

**COMMERCIAL, INSTITUTIONAL, MULTI-FAMILY RESIDENTIAL (3+ Unit), & MUNICIPAL PROJECTS**

(including convalescent homes, nursing home, assisted living and other multi-person dwellings):

New Structures, Accessory Structures and Additions or Alterations

that involve a change of footprint .....\$240 + \$.60 S/F \$ \_\_\_\_\_

Alterations that do not involve a change of footprint

(SF will only apply to any additional floor area created by or occupied as a result of the alteration.)

This section includes projects that went to Site Plan, projects that do not involve a change of footprint, or any project that involves the adding of a bedroom, kitchen or dwelling unit.

.....\$120 + \$.60 S/F \$ \_\_\_\_\_

After-the-fact Zoning Compliance Permit ..... \$330 \$ \_\_\_\_\_

A regular zoning compliance application must also be submitted with this permit.

**OTHER FEES**

Alternative Energy Systems: Solar collectors, roof mounted energy producing systems, etc. .... \$112.50 \$ \_\_\_\_\_

Alternative Energy Systems: Tower Mounted systems ..... \$225 \$ \_\_\_\_\_

Demolition Permit (unless associated with rebuilding projects)..... \$75 \$ \_\_\_\_\_

Driveway Permit ..... \$75 \$ \_\_\_\_\_

Land Disturbance Permit ..... \$50 (plus security) \$ \_\_\_\_\_

Meteorological Tower ..... \$225 \$ \_\_\_\_\_

Permit to Excavate, Highways/Streets ..... \$75 \$ \_\_\_\_\_

Sign Permit..... \$30 \$ \_\_\_\_\_

Telecommunications - Accessory Structures for Telecommunications Use ..... \$300 \$ \_\_\_\_\_

Telecommunications Towers ..... \$1,500 \$ \_\_\_\_\_

Temporary Structures, such as trailers and container boxes used for storage, construction offices,

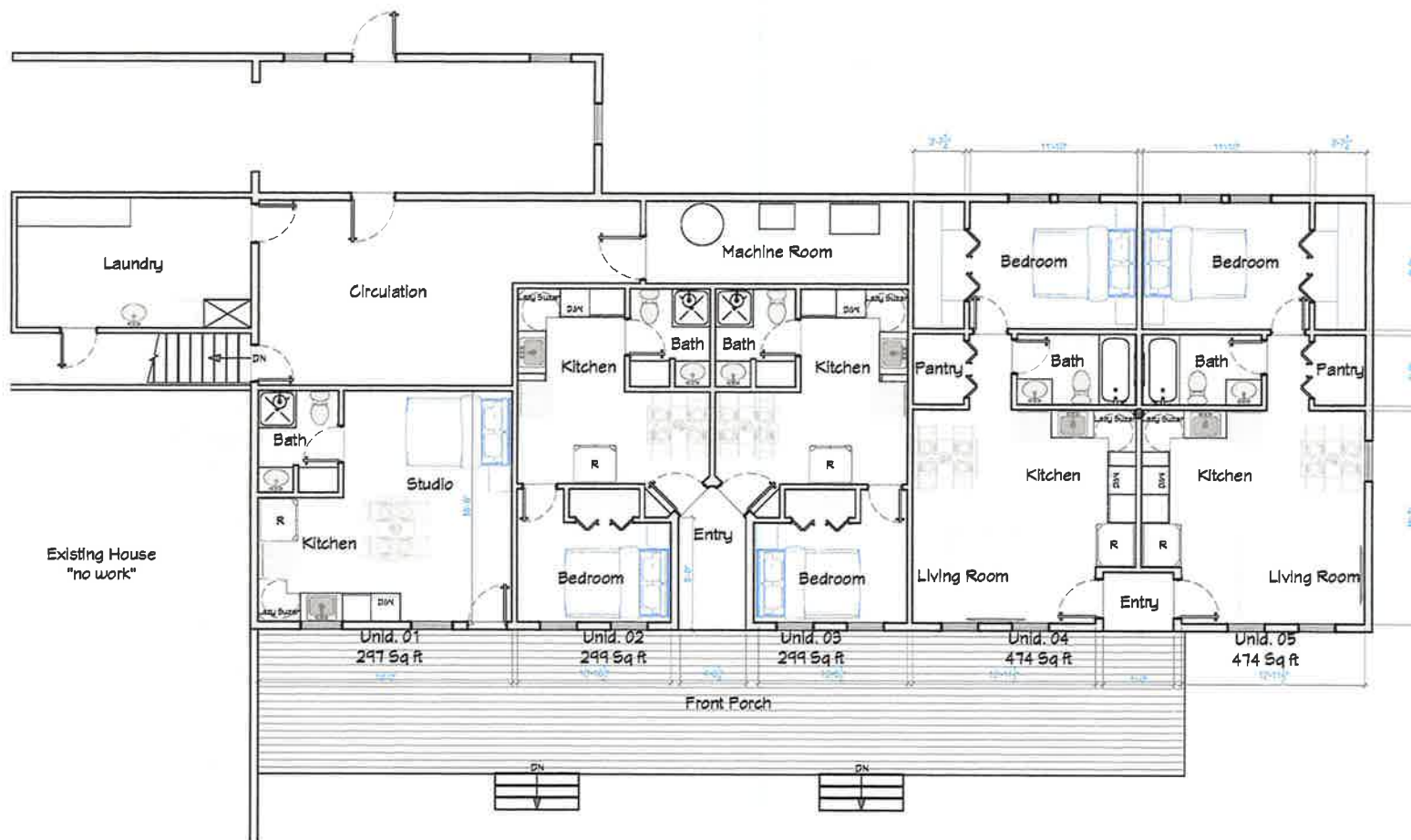
temporary living for use more than 60 consecutive days ..... \$75 each unit \$ \_\_\_\_\_

Tree Cutting Permit.....\$75 \$ \_\_\_\_\_

**TOTAL**.....**AMOUNT DUE:** \$ \_\_\_\_\_

**Make check payable to Town of Sunapee.**





1 Proposed First Floor  
3/16" = 1'-0"

REVISION TABLE  
NUMBER DATE REVISION BY DESCRIPTION

Proposed 1st Floor Plan

DRAWINGS PROVIDED BY:  
RP PRO PAINT & CONTRACTING LLC  
1 Hanson Drive - Marlinton, WV 26054  
(843) 789-7921

DATE:

09/26/2023

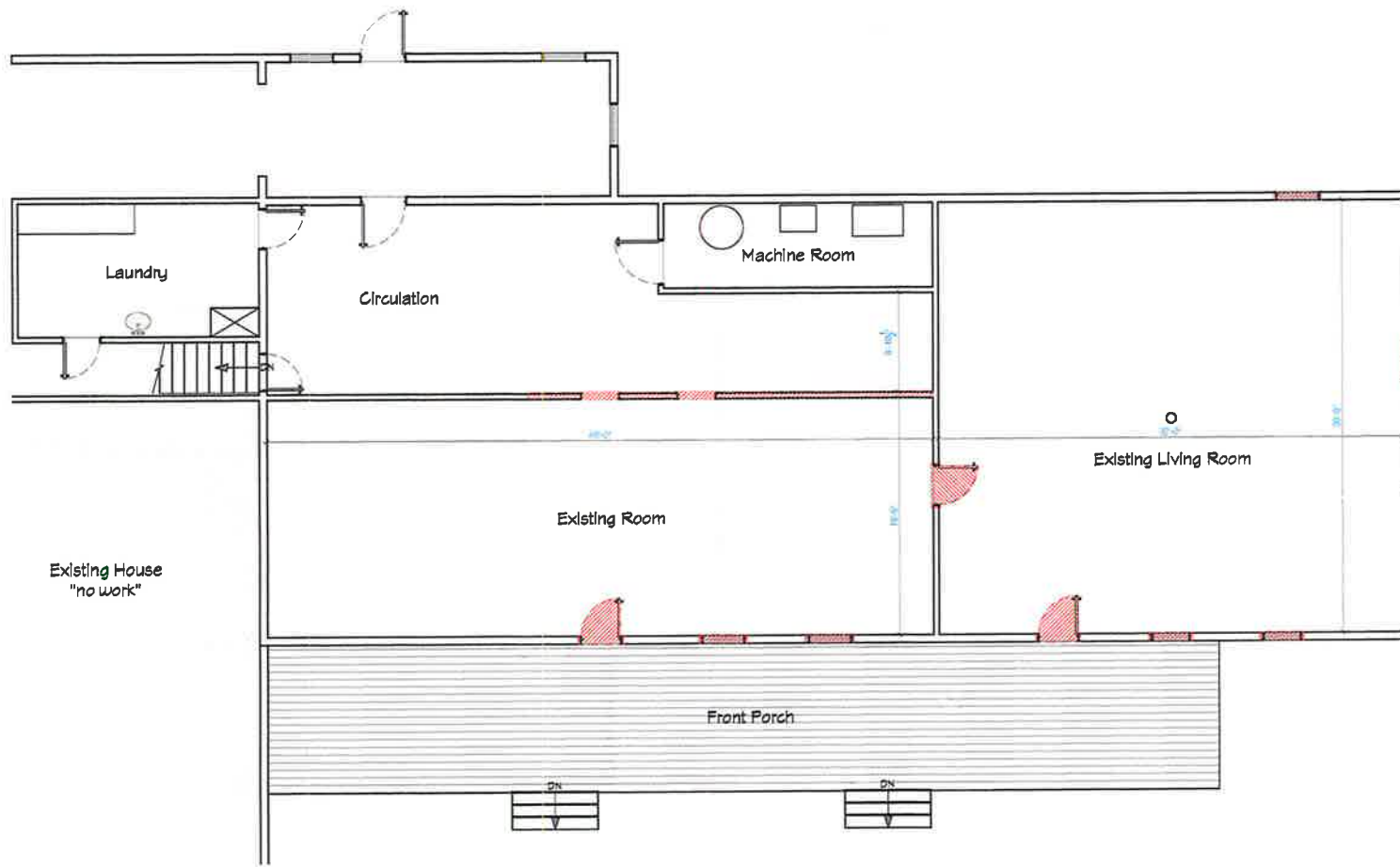
SCALE:

AS NOTED

SHEET:

A2.00





1 Existing First Floor  
3/18/23

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

Existing 1st Floor Plan

DRAWINGS PROVIDED BY:  
RP PRO PAINT & CONTRACTING LLC  
7 Hudson Drive • Norwalk, CT 06854  
(860) 769-7523

DATE:

09/26/2023

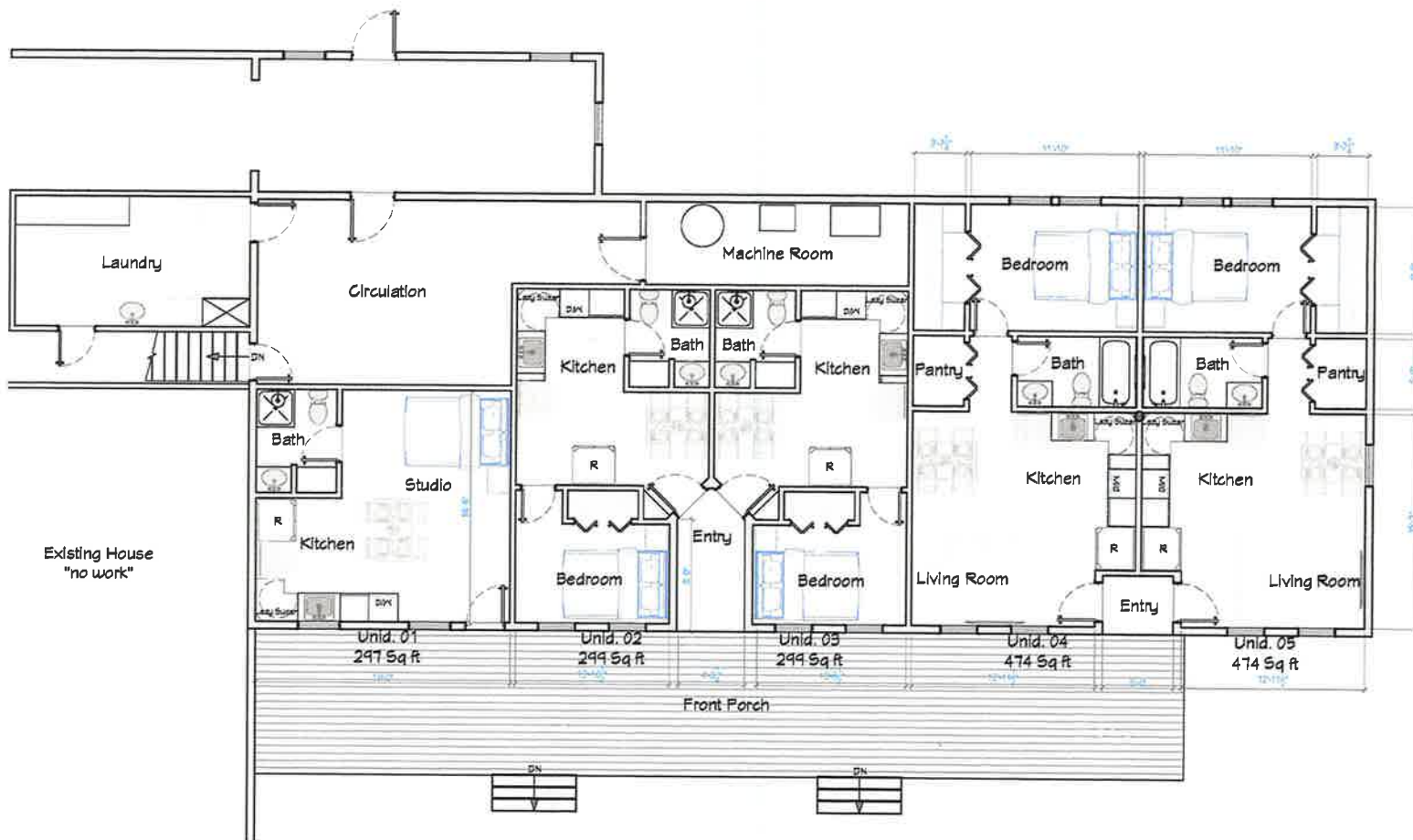
SCALE:

AS NOTED

SHEET:

A1.00





1 Proposed First Floor  
3/16" = 1'-0"

REVISION TABLE  
NUMBER DATE REVISOR BY DESCRIPTION

Proposed 1st Floor Plan

DRAWINGS PROVIDED BY:  
RP PRO PAINT & CONTRACTING LLC  
7 Harwood Drive - Meriden, CT 06454  
(860) 769-7321

DATE:

09/26/2023

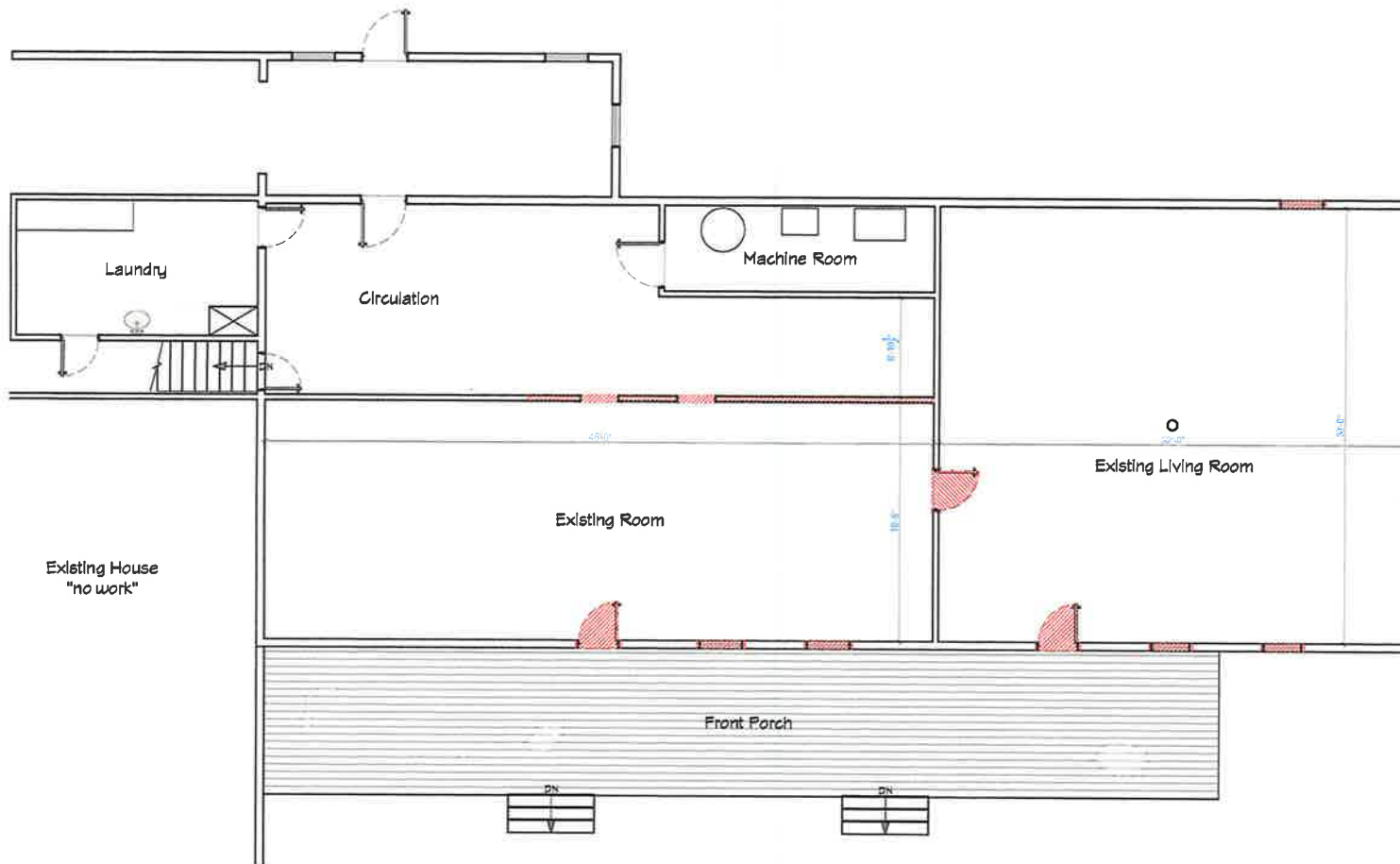
SCALE:

AS NOTED

SHEET:

A2.00





DEMOLITION PLAN KEY	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL

Existing House  
"no work"

1 Existing First Floor  
3/16" = 1'-0"

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

Existing 1st Floor Plan

DRAWINGS PROVIDED BY:  
**RP PRO PAINT & CONTRACTING LLC**  
7 Haddon Drive - Marlborough, MA 01754  
(978) 789-7521

DATE:  
09/26/2023  
SCALE:  
AS NOTED  
SHEET:  
**A1.00**





# 200 foot Abutters List Report

Tri Town, NH  
October 23, 2023

## Subject Property:

Parcel Number: Sun-0104-0022-0000  
CAMA Number: Sun-0104-0022-0000  
Property Address: 27 PROSPECT HILL RD

Mailing Address: GROWTH CAP MANAGEMENT, LLC  
7 HANSOM DRIVE  
MERRIMACK, NH 03054 ✓

## Abutters:

Parcel Number: Sun-0104-0010-0000  
CAMA Number: Sun-0104-0010-0000  
Property Address: 11 PLEASANT ST

Mailing Address: 350 ENTERPRISES, LLC  
PO BOX 12  
GEORGES MILLS, NH 03751 ✓

Parcel Number: Sun-0104-0011-0000  
CAMA Number: Sun-0104-0011-0000  
Property Address: PLEASANT ST

Mailing Address: DASHNER, GARY M  
PO BOX 146  
GEORGES MILLS, NH 03751

Parcel Number: Sun-0104-0012-0000  
CAMA Number: Sun-0104-0012-0000  
Property Address: 24 PLEASANT ST

Mailing Address: TOWN OF SUNAPEE  
23 EDMONT ROAD  
SUNAPEE, NH 03782 ✓

Parcel Number: Sun-0104-0013-0000  
CAMA Number: Sun-0104-0013-0000  
Property Address: 16 PLEASANT ST

Mailing Address: DASHNER, GARY M  
P.O. BOX 146  
GEORGES MILLS, NH 03751 ✓

Parcel Number: Sun-0104-0014-0000  
CAMA Number: Sun-0104-0014-0000  
Property Address: 8 PLEASANT ST

Mailing Address: GARCEAU, RONALD E & SUSAN L  
73 WINN HILL RD  
SUNAPEE, NH 03782 ✓

Parcel Number: Sun-0104-0020-0000  
CAMA Number: Sun-0104-0020-0000  
Property Address: 15 PROSPECT HILL RD

Mailing Address: LARROW FAMILY TRUST OF 2016  
WILLIAM & DONNA LARROW, TRUSTE  
PO BOX 362  
GEORGES MILLS, NH 03751 ✓

Parcel Number: Sun-0104-0021-0000  
CAMA Number: Sun-0104-0021-0000  
Property Address: 23 PROSPECT HILL RD

Mailing Address: OLDMAN TRUST, MICHELE MICHELLE  
OLDMAN TRUSTEE  
PO BOX 826  
MOSS BEACH, CA 94038 ✓

Parcel Number: Sun-0104-0023-0000  
CAMA Number: Sun-0104-0023-0000  
Property Address: 37 PROSPECT HILL RD

Mailing Address: ISHII, ALEX TOICHI ROGAK, LISA  
486 CANAAN ST  
CANAAN, NH 03741 ✓

Parcel Number: Sun-0104-0024-0000  
CAMA Number: Sun-0104-0024-0000  
Property Address: 41 PROSPECT HILL RD

Mailing Address: DUNBAR, BERNARD L  
PO BOX 426  
GEORGES MILLS, NH 03751 ✓

Parcel Number: Sun-0104-0025-0000  
CAMA Number: Sun-0104-0025-0000  
Property Address: 45 PROSPECT HILL RD

Mailing Address: GIONET, PATRICIA M  
PO BOX 85  
GEORGES MILLS, NH 03751 ✓



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10/23/2023

Page 1 of 2





# 200 foot Abutters List Report

Tri Town, NH  
October 23, 2023

Parcel Number: Sun-0104-0026-0000  
CAMA Number: Sun-0104-0026-0000  
Property Address: 57 PROSPECT HILL RD

Mailing Address: DONAHUE, SUSAN M & BRENDAN T  
PO BOX 278  
GEORGES MILLS, NH 03751 ✓

Parcel Number: Sun-0104-0040-0000  
CAMA Number: Sun-0104-0040-0000  
Property Address: 52 PROSPECT HILL RD

Mailing Address: HUTCHINSON FAMILY OF SANTA MON  
DAVID & LIZ HUTCHINSON, TRUSTE ✓  
1538 STANFORD ST #11  
SANTA MONICA, CA 90404

Parcel Number: Sun-0104-0041-0000  
CAMA Number: Sun-0104-0041-0000  
Property Address: 5 POCHELON ST

Mailing Address: TEMPLE, STEPHEN W & DEBORAH A  
QUARTO REVOC TRUST, SANDRA A ✓  
22 RIVER RD  
HEBRON, CT 06248

Parcel Number: Sun-0104-0042-0000  
CAMA Number: Sun-0104-0042-0000  
Property Address: 7 POCHELON ST

Mailing Address: SELLBERG, DYLAN  
7 POCHELON STREET ✓  
SUNAPEE, NH 03782

Parcel Number: Sun-0104-0044-0000  
CAMA Number: Sun-0104-0044-0000  
Property Address: 20 PROSPECT HILL RD

Mailing Address: WINTERS, EDWARD  
PO BOX 221 ✓  
GEORGES MILLS, NH 03751

Parcel Number: Sun-0106-0004-0000  
CAMA Number: Sun-0106-0004-0000  
Property Address: ROUTE 11

Mailing Address: BERGERON, J ANTHONY & MURIEL T  
PO BOX 25 ✓  
GEORGES MILLS, NH 03751



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10/23/2023

Page 2 of 2



**Zoning Board of Adjustment (ZBA)  
Variance Application**

**RECEIVED**

**AUG 14 2023**

**TOWN OF  
SUNAPEE**

Questions? Please contact the Land Use & Assessing Coordinator or the Planning & Zoning Director. All dates and deadlines are published on the ZBA calendar; see Page 6. For helpful guidelines on completing this application, see page 4-5.

**Attach additional sheets of paper as necessary.**

1. Landowner(s) Name(s): Sunapee Harbor Riverway
2. Parcel ID: 0133-0087-0000 3. Zoning District: \_\_\_\_\_
4. Project Location (Street & #): 72 Main Quack Shack
5. Mailing Address: Po Box 850
6. Phone Number: 603-763-9988
7. Email: One @ Sunapeeharborriverway.com

☒ **ABUTTERS LIST:** You must prepare a list of all abutting property owners and attach it to your application. If you have any difficulty, consult the town office, but the accuracy of the list is your responsibility. You can download an abutters list by using the Tax Maps/GIS on the Town's website (under Assessing Department).

☒ **FEES:** 1 Application Fee: \$150.00 \* Make check payable to Town of Sunapee.  
6 Abutter Notification Fee: \$8.00 \* per abutter. Make payable to US Post Office.

\* NOTE: Rates and fees are subject to change. For the most current rate, please check with the Town Office.

☒ **ATTACHMENTS:** To assist the board, please attach sketches, photos, surveys, plot plans, pictures, construction plans, or whatever may help explain the proposed use. Include copies of any prior Zoning or Planning decisions concerning the property. If you have something in writing stating that your proposed project does not meet zoning, please attach that to this application; it may be a letter, email or denied permit. A professional survey by a licensed surveyor is strongly recommended for variances related to setback requirements. For properties located in the Shoreline Overlay District, a professional survey is required. Supplemental materials for the Board must be submitted no later than five (5) days before the scheduled hearing, however, adequate plans and exhibits must accompany the application. This includes, but is not limited to: lot dimensions, dimensions of proposed and existing structures, identification of abutting properties and roads, locations of water bodies, wetlands, septic systems, etc.

*Applications will not be considered complete unless all the questions are answered, the fees are paid, and an Abutters Mailing List is attached.*



**GENERAL DESCRIPTION:** This is a place to give a general summary of the proposed project as an introduction and overview for the public hearing. For example, where is the property located? Describe the property. Give area, frontage, side and rear lines, slopes, natural features, etc. What do you propose to do? Why does your proposal require an appeal to the board of adjustment?

PANELIZED FREEZER ON QUACK SHACK

Attach additional sheets of paper as necessary.

**SPECIFIC REASON THE VARIANCE IS NECESSARY:** A Variance is requested from Zoning

Ordinance, Article 4, Section 4.33 to permit

Within setback

**Facts in support of granting the variance:**

1. Granting the variance would not be contrary to the public interest because:

The work on this project will not be obtrusive and it will be beneficial as the business owner will have easy access to the ice cream supply w/o moving it through the harbor behind.

2. If the variance were granted, the spirit of the ordinance would be observed because:

No alterations to the existing building building taking place. Panelized freezer unit meets requirements for height etc.

3. Granting the variance would do substantial justice because:

The addition of the unit is consistent with the present use of the building.



4. If the variance were granted, the values of the surrounding properties would not be diminished because: The area is business use and the addition of the packaged freezer unit will be in keeping with the current use of the building.

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property

because:

The addition of the unit will not take away from the current use of the area. The area of placement is currently not used except for two 55 gal trash cans.

- and -

ii. The proposed use is a reasonable one because:

It will eliminate the need for transporting 5 gallon containers of ice cream through the harbor and give the business more space inside.

b. Explain how, if the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

The variance requirement is due to the proximity of the Sugar River. The unit will sit outside ~~at~~ current dock, which the building also sits on. No DES Shoreland ~~req~~ requirement needed.

NOTE:

For person(s) with physical disabilities,  
please see RSA 674:33 regarding alternative hardship criteria for a Variance.

**SIGNATURE:** I understand that the public hearing will be held at the scheduled date and time unless a request is made by me for a new hearing. Any rehearing will require a new public notice and notification to abutters, the cost of which will be borne by the applicant. Further, I hereby give permission to the ZBA members and zoning officials to visit the subject property prior to the public hearing. To the best of my knowledge, the above is true and correct.

Susan Mills  
Landowner(s) Signature(s)

8-3-2023  
Date



— = 1 foot

Deck

Roof Line

Deck Railing

COUNTER

Proposed  
Freezer

9'6"

9'6"

9'

3'6"

Quack  
Shack  
Building

Fence

4'

10'6"

8'6"



87-1

0.95 Ac

33

0.05 AcC



TOWN

55'S

28'S

795.88'

24.71'

104.13'

FENTON'S  
LANDING

← AREA  
IN Graph

QUACK  
SHALO

86

0.14 AcC

87

0.51 Ac

304'

49'

101.6'

91

0.11

Ac  
50.9'

92

0.16 Ac

70.3'

SUNAPE  
HISTORIC  
SOCIETY

1

2

50'





# 68 foot Abutters List Report

Tri Town, NH  
August 14, 2023

## Subject Properties:

Parcel Number: Sun-0133-0087-0000  
CAMA Number: Sun-0133-0087-0000  
Property Address: 72 MAIN ST

Mailing Address: SUNAPEE HARBOR-RIVERWAY INC  
PO BOX 850  
SUNAPEE, NH 03782

## Abutters:

Parcel Number: Sun-0133-0025-0000  
CAMA Number: Sun-0133-0025-0000  
Property Address: 63 MAIN ST

Mailing Address: LAKE SUNAPEE PROTECTIVE ASSOCI  
PO BOX 683  
SUNAPEE, NH 03782

Parcel Number: Sun-0133-0026-0000  
CAMA Number: Sun-0133-0026-0000  
Property Address: 5 GARNET ST

Mailing Address: ROYCE ENTERPRISES, LLC  
PO BOX 50  
SUNAPEE, NH 03782

Parcel Number: Sun-0133-0033-0000  
CAMA Number: Sun-0133-0033-0000  
Property Address: MAIN ST

Mailing Address: TOWN OF SUNAPEE  
23 EDMONT ROAD  
SUNAPEE, NH 03782

Parcel Number: Sun-0133-0035-0000  
CAMA Number: Sun-0133-0035-0000  
Property Address: 77 MAIN ST

Mailing Address: SUNAPEE HARBOR-RIVERWAY INC  
PO BOX 850  
SUNAPEE, NH 03782 *dup*

Parcel Number: Sun-0133-0086-0000  
CAMA Number: Sun-0133-0086-0000  
Property Address: 74 MAIN ST

Mailing Address: SUNAPEE NH HISTORICAL SOCIETY  
PO BOX 501  
SUNAPEE, NH 03782

Parcel Number: Sun-0133-0087-0001  
CAMA Number: Sun-0133-0087-0001  
Property Address: 68 MAIN ST Unit 1

Mailing Address: SUNAPEE HARBOR-RIVERWAY INC  
PO BOX 850  
SUNAPEE, NH 03782 *dup*

Parcel Number: Sun-0133-0090-0000  
CAMA Number: Sun-0133-0090-0000  
Property Address: 1 RIVER RD

Mailing Address: TOWN OF SUNAPEE  
23 EDMONT ROAD  
SUNAPEE, NH 03782

Parcel Number: Sun-0133-0091-0000  
CAMA Number: Sun-0133-0091-0000  
Property Address: 31 RIVER RD

Mailing Address: F. E. CLARK HOLDINGS, LLC  
PO BOX 350  
SUNAPEE, NH 03782

Parcel Number: Sun-0133-0092-0000  
CAMA Number: Sun-0133-0092-0000  
Property Address: 33 RIVER RD

Mailing Address: SUNAPEE HARBOR-RIVERWAY INC  
PO BOX 850  
SUNAPEE, NH 03782



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8/14/2023

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Page 1 of 1



ROYCE ENTERPRISES, LLC  
PO BOX 50  
SUNAPEE, NH 03782

SUNAPEE HARBOR-RIVERWAY I  
PO BOX 850  
SUNAPEE, NH 03782

SUNAPEE NH HISTORICAL SOC  
PO BOX 501  
SUNAPEE, NH 03782

TOWN OF SUNAPEE  
23 EDMONT ROAD  
SUNAPEE, NH 03782

F. E. CLARK HOLDINGS, LLC  
PO BOX 350  
SUNAPEE, NH 03782

LAKE SUNAPEE PROTECTIVE A  
PO BOX 683  
SUNAPEE, NH 03782



0133-0087-0000



July 14, 2023

Tri Town, NH

1 inch = 20 Feet



Precision Mapping Geospatial Solutions

www.cai-tech.com

87-1

0.95 AC

24.71'



TOWN

104.13'

195.88'

86

0.14 AcC

87

0.51 AC

304'

33.25'

13.8'

20'

49'

2'

101.6'

101.4'

91

0.11

AC

92

0.16 A

70.3'

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1

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**From:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Sent:** Tuesday, July 18, 2023 2:58 PM  
**To:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Subject:** RE: Sunapee Harbor Riverway query

Hello,  
Thank you for contacting the Department. You are placing this on top of an existing structure (i.e. pavilion)? How far away from the water will the structure be placed?

**Calvin G. Diessner**  
Shoreland Section Supervisor, Land Resources Management  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
Office: (603) 271-4067  
Email: [calvin.g.diessner@des.nh.gov](mailto:calvin.g.diessner@des.nh.gov)

We greatly appreciate your feedback. Please take a moment to fill out our 3-minute [NHDES-LRM customer satisfaction survey](#).

**From:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Sent:** Monday, July 17, 2023 3:11 PM  
**To:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Subject:** Sunapee Harbor Riverway query

**EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.**

Hello,

I'm trying to get a handle on whether we need a Shoreland Permit to place a panelized freezer unit (approx. 9x9 or less) on our pavilion located in Sunapee Harbor. The map/parcel # is 0133-0087 -0000. There are other buildings located on this site, this is the building furthest from the road.  
It is a completely enclosed outdoor freezer unit.

Regards,  
Sue Mills

Susan Mills, Manager  
Sunapee Harbor Riverway, Inc.  
PO Box 850  
Sunapee, NH 03782

603 763 9988

"To preserve and enhance the Harbor Village experience in the present and into the future."



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**From:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Sent:** Friday, July 21, 2023 3:03 PM  
**To:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Subject:** RE: Sunapee Harbor Riverway query

Hello,

No permit require to simply set the freezer on top of the deck. The freezer could not be converted to living space. The structure would need to be setback 20 feet from the water.

**Calvin G. Diessner**  
Shoreland Section Supervisor, Land Resources Management  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
Office: (603) 271-4067  
Email: [calvin.g.diessner@des.nh.gov](mailto:calvin.g.diessner@des.nh.gov)

*We greatly appreciate your feedback. Please take a moment to fill out our 3-minute [NHDES-LRM customer satisfaction survey](#).*

**From:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Sent:** Friday, July 21, 2023 10:50 AM  
**To:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Subject:** RE: Sunapee Harbor Riverway query

**EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.**

Dear Calvin,

Thank you for your response. I've attached a simple drawing done by the business owner of the Quack Shack Ice Cream stand in the Harbor. The deck (pavilion) is an old footprint of a former building on that site. The ice cream building sits on the deck. This property borders the Sugar River.

Regards,  
Sue

Susan Mills, Manager  
Sunapee Harbor Riverway, Inc.  
PO Box 850  
Sunapee, NH 03782

603 763 9988

"To preserve and enhance the Harbor Village experience in the present and into the future."

[www.sunapeeharborriverway.com](http://www.sunapeeharborriverway.com)



"To preserve and enhance the Harbor Village experience in the present and into the future."

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**From:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Sent:** Monday, July 24, 2023 2:43 PM  
**To:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Subject:** RE: Sunapee Harbor Riverway query

Hello,

We can not permit structures within 20 feet of the water other than decks and patios. This structure would need to be setback 20 feet from the water.

**Calvin G. Diessner**  
Shoreland Section Supervisor, Land Resources Management  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
Office: (603) 271-4067  
Email: [calvin.g.diessner@des.nh.gov](mailto:calvin.g.diessner@des.nh.gov)

We greatly appreciate your feedback. Please take a moment to fill out our 3-minute [NHDES-LRM customer satisfaction survey](#).

**From:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Sent:** Monday, July 24, 2023 12:07 PM  
**To:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Subject:** RE: Sunapee Harbor Riverway query

**EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.**

Calvin, I've attached some photos of the area. The Pavilion railing is about 2' from the edge of the river as seen in picture 1. The area the freezer will sit is in picture 2. The counter shelf will be removed, and the freezer will be placed there. It's not 20' from the water. The building isn't 20' from the water.

Regards,

Susan Mills, Manager  
Sunapee Harbor Riverway, Inc.  
PO Box 850  
Sunapee, NH 03782

603 763 9988

"To preserve and enhance the Harbor Village experience in the present and into the future."



The information contained in this electronic message is privileged and confidential and is intended only for the use of the individual or entity named above. If the recipient of this message is not the above-named intended recipient, you are hereby notified that any dissemination, copy or disclosure of this communication is strictly prohibited. **If you have received this communication in error, please notify Sunapee Harbor Riverway 603 763 9988 and purge the communication immediately without making any copy or distribution.**

**From:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Sent:** Monday, July 24, 2023 10:29 AM  
**To:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Subject:** RE: Sunapee Harbor Riverway query

The freezer.

**Calvin G. Diessner**  
Shoreland Section Supervisor, Land Resources Management  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
Office: (603) 271-4067  
Email: [calvin.g.diessner@des.nh.gov](mailto:calvin.g.diessner@des.nh.gov)

*We greatly appreciate your feedback. Please take a moment to fill out our 3-minute [NHDES-LRM customer satisfaction survey](#).*

**From:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Sent:** Friday, July 21, 2023 4:33 PM  
**To:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Subject:** RE: Sunapee Harbor Riverway query

**EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.**

Calvin,

I'm not sure what you mean by the structure would need to be 20' from the water. Which structure, a living quarters?

Thanks,  
Sue

Susan Mills, Manager  
Sunapee Harbor Riverway, Inc.  
PO Box 850  
Sunapee, NH 03782

603 763 9988

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**From:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Sent:** Friday, July 28, 2023 9:25 AM  
**To:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>; DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Cc:** [quackphoto@aol.com](mailto:quackphoto@aol.com)  
**Subject:** RE: Sunapee Harbor Riverway query

Nope, please see my email.

Hello,

No permit require to simply set the freezer on top of the deck. The freezer could not be converted to living space. The structure would need to be setback 20 feet from the water.

**Calvin G. Diessner**  
Shoreland Section Supervisor, Land Resources Management  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
Office: (603) 271-4067  
Email: [calvin.g.diessner@des.nh.gov](mailto:calvin.g.diessner@des.nh.gov)

We greatly appreciate your feedback. Please take a moment to fill out our 3-minute [NHDES-LRM customer satisfaction survey](#).

**From:** Susan Mills <[sue@sunapeeharborriverway.com](mailto:sue@sunapeeharborriverway.com)>  
**Sent:** Thursday, July 27, 2023 3:22 PM  
**To:** DES: Shoreland <[shoreland@des.nh.gov](mailto:shoreland@des.nh.gov)>  
**Cc:** [quackphoto@aol.com](mailto:quackphoto@aol.com)  
**Subject:** RE: Sunapee Harbor Riverway query

**EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.**

Calvin,

Okay, so we need a Permit by Notification to put the freezer on the deck next to the building. Correct?

Sue

Susan Mills, Manager  
Sunapee Harbor Riverway, Inc.  
PO Box 850  
Sunapee, NH 03782

603 763 9988



## Susan Mills

---

**From:** DES: Shoreland <shoreland@des.nh.gov>  
**Sent:** Wednesday, October 11, 2023 3:11 PM  
**To:** Susan Mills  
**Subject:** RE: Sunapee Harbor Riverway query

No, this is not something at we can provide you. You can use the email chain as evidence of our discussion.

**Calvin G. Diessner**  
Shoreland Section Supervisor, Land Resources Management  
Water Division, NH Department of Environmental Services  
P.O. Box 95  
Concord, NH 03302-0095  
Office: (603) 271-4067  
Email: [calvin.g.diessner@des.nh.gov](mailto:calvin.g.diessner@des.nh.gov)

We greatly appreciate your feedback. Please take a moment to fill out our 3-minute [NHDES-LRM customer satisfaction survey](#).

**From:** Susan Mills <sue@sunapeeharborriverway.com>  
**Sent:** Wednesday, October 11, 2023 2:10 PM  
**To:** DES: Shoreland <shoreland@des.nh.gov>  
**Cc:** quackphoto@aol.com  
**Subject:** RE: Sunapee Harbor Riverway query

**EXTERNAL: Do not open attachments or click on links unless you recognize and trust the sender.**

Hello Calvin,

We are going before the Sunapee Planning and Zoning Committee on the issue of the freezer we discussed earlier (please see email thread below). Could you please provide me with a letter attachment on DES letterhead stating that we do not need any special permit from DES Shoreland to put the freezer on the deck at the Quack Shack?

Thank you, your time is appreciated.

Regards,  
Sue

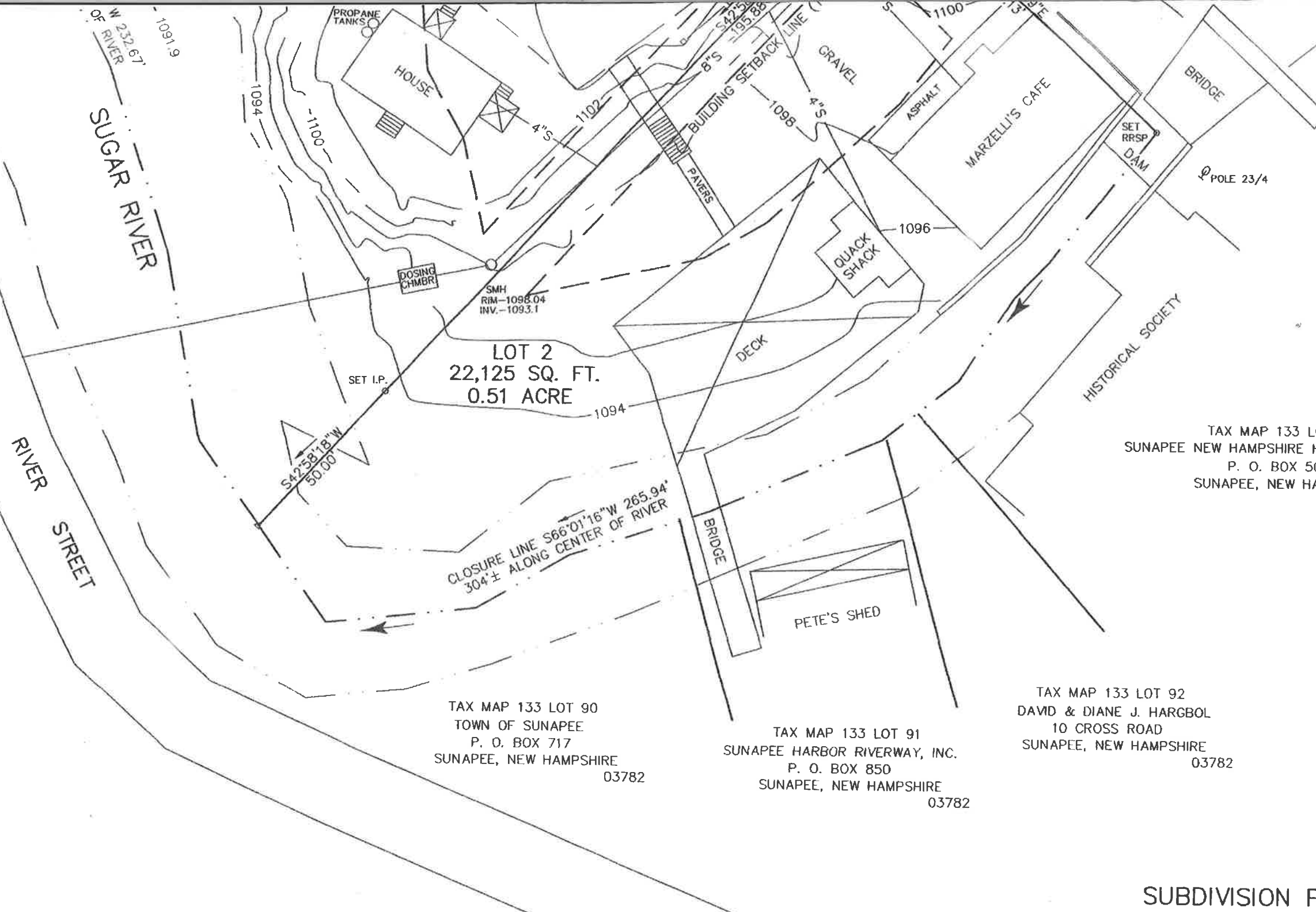
Susan Mills, Manager  
Sunapee Harbor Riverway, Inc.  
PO Box 850  
Sunapee, NH 03782

603 763 9988

"To preserve and enhance the Harbor Village experience in the present and into the future."

[www.sunapeeharborriverway.com](http://www.sunapeeharborriverway.com)

TAX MAP 133 LOT 120  
DANVILLE A. HUFF  
P. O. BOX 136  
SUNAPEE, NEW HAMPSHIRE  
03782

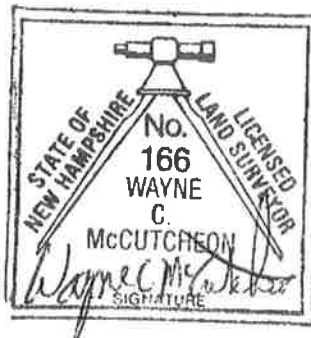


TAX MAP 133 LOT 86  
SUNAPEE NEW HAMPSHIRE HISTORICAL SOCIETY  
P. O. BOX 501  
SUNAPEE, NEW HAMPSHIRE  
03782

TAX MAP 133 LOT 90  
TOWN OF SUNAPEE  
P. O. BOX 717  
SUNAPEE, NEW HAMPSHIRE  
03782

TAX MAP 133 LOT 91  
SUNAPEE HARBOR RIVERWAY, INC.  
P. O. BOX 850  
SUNAPEE, NEW HAMPSHIRE  
03782

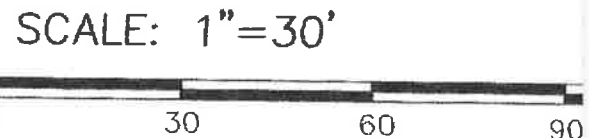
TAX MAP 133 LOT 92  
DAVID & DIANE J. HARGBOL  
10 CROSS ROAD  
SUNAPEE, NEW HAMPSHIRE  
03782



I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE TRACT SHOWN HEREON, AND THIS PLAT IS MADE IN ACCORDANCE WITH THE FIELD NOTES OF SAID SURVEY.

*Wayne C. McCutcheon*

SUBDIVISION PLAN OF LAND  
SUNAPEE HARBOR-RIVER  
SUNAPEE HARE  
SUNAPEE, NEW HAM







**TOWN OF SUNAPEE**  
***Water and Sewer Commission***

P.O. Box 347, Sunapee, NH 03782-0347  
(603) 763-2115

October 23, 2023

Sunapee Zoning Board  
23 Edgemont Road  
Sunapee, NH 03782

Re: Sunapee Harbor Riverway Quackshack/Fenton's Landing Property

Dear Members of the Board,

I have been speaking with the Sunapee Harbor Riverway in regards to the sewer department's siphon chamber that is located on the edge of the river at map 0133-0087. The Riverway is reporting that the Zoning Board has suggested that they place a cooler on the property adjacent to the Quack Shack deck.

There can't be anything located there that is not easily moved. The Sewer Department needs to maintain a 20' right of way along the sewer line through the property and to be able to access the siphon chamber to keep it cleaned out of grease.

Although I have not been able to locate a recorded easement yet for this right-of-way for the sewer line and siphon chamber. The Sewer Department can't allow a large cooler to be placed in the way of access to these sewer structures.

Sincerely,

David Bailey  
Superintendent

Cc:Sunapee Harbor Riverway

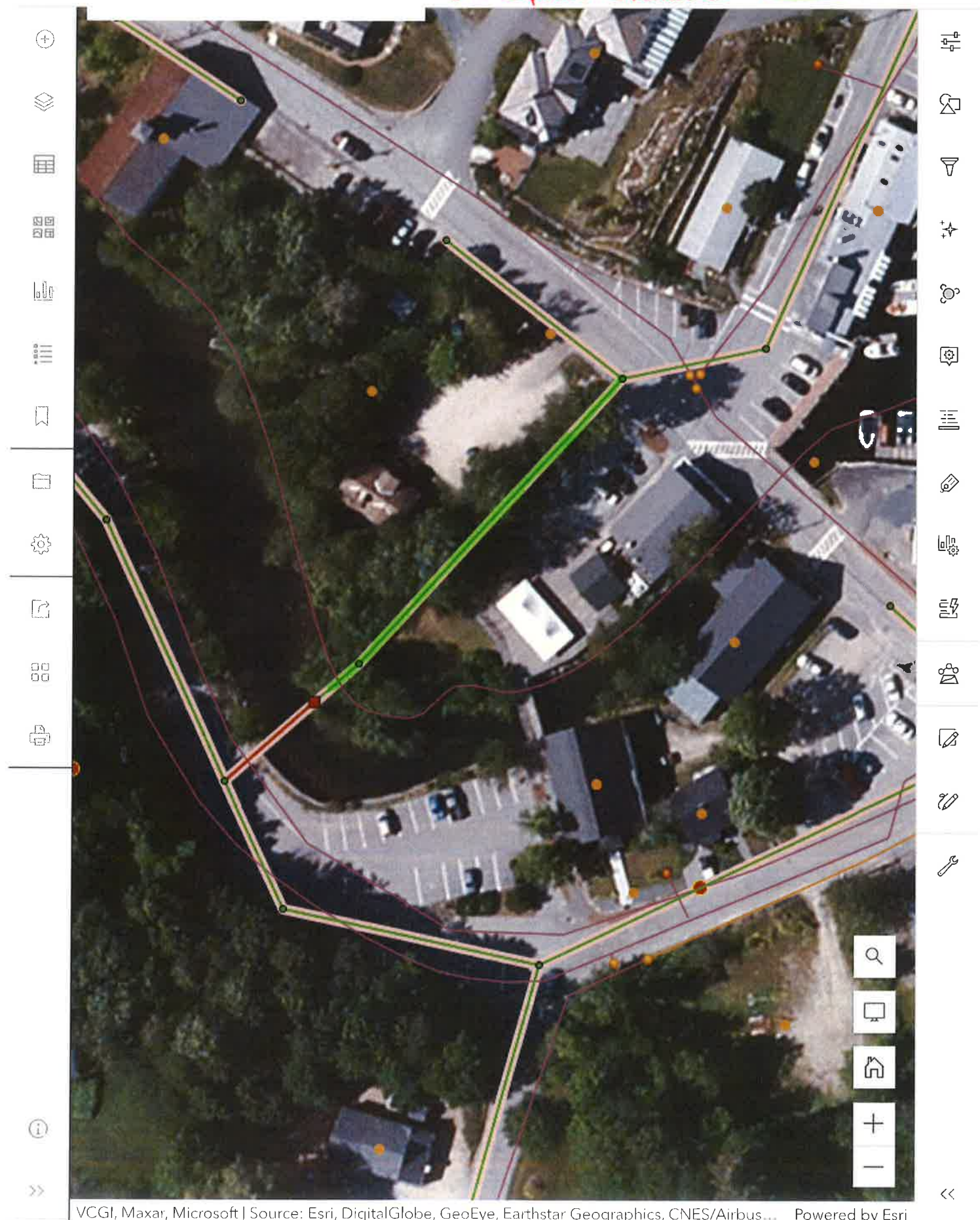


Open in Map Viewer Classic &gt;

Sunapee Water and Sewer

◆ = Siphon Chamber

Sewer Main



VCGI, Maxar, Microsoft | Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus... Powered by Esri



Town of Sunapee  
23 Edgemont Rd., Sunapee NH  
Phone (603) 763-3194 / Website [www.town.sunapee.nh.us](http://www.town.sunapee.nh.us)  
Email [zoning@town.sunapee.nh.us](mailto:zoning@town.sunapee.nh.us)

RECEIVED SEP 15 2023 CASE# \_\_\_\_\_

## Zoning Board of Adjustment (ZBA) Variance Application

Questions? Please contact the Land Use & Assessing Coordinator or the Planning & Zoning Director. All dates and deadlines are published on the ZBA calendar; see Page 6. For helpful guidelines on completing this application, see page 4-5.

Attach additional sheets of paper as necessary.

1. Landowner(s) Name(s): Hugh + Sarah McCann
2. Parcel ID: 104/057/000
3. Zoning District: Residential
4. Project Location (Street & #): 46 Oak Ridge Road Georges Mills
5. Mailing Address: P.O. Box 540
6. Phone Number: 203-545-8857
7. Email: hughmccannjr@gmail.com

✓ ☒ **ABUTTERS LIST:** You must prepare a list of all abutting property owners and attach it to your application. If you have any difficulty, consult the town office, but the accuracy of the list is your responsibility. You can download an abutters list by using the Tax Maps/GIS on the Town's website (under Assessing Department).

☒ **FEES:**      Application Fee: \$ \_\_\_\_\_ \* Make check payable to Town of Sunapee.  
                 Abutter Notification Fee: \$ \_\_\_\_\_ \* per abutter. Make payable to US Post Office.

\* NOTE: Rates and fees are subject to change. For the most current rate, please check with the Town Office.

✓ ☒ **ATTACHMENTS:** To assist the board, please attach sketches, photos, surveys, plot plans, pictures, construction plans, or whatever may help explain the proposed use. Include copies of any prior Zoning or Planning decisions concerning the property. If you have something in writing stating that your proposed project does not meet zoning, please attach that to this application; it may be a letter, email or denied permit. A professional survey by a licensed surveyor is strongly recommended for variances related to setback requirements. For properties located in the Shoreline Overlay District, a professional survey is required. Supplemental materials for the Board must be submitted no later than five (5) days before the scheduled hearing, however, adequate plans and exhibits must accompany the application. This includes, but is not limited to: lot dimensions, dimensions of proposed and existing structures, identification of abutting properties and roads, locations of water bodies, wetlands, septic systems, etc.

✓ *Applications will not be considered complete unless all the questions are answered, the fees are paid, and an Abutters Mailing List is attached.*

Lois Konan  
Simon Hung  
Josh Monroe

**GENERAL DESCRIPTION:** This is a place to give a general summary of the proposed project as an introduction and overview for the public hearing. For example, where is the property located? Describe the property. Give area, frontage, side and rear lines, slopes, natural features, etc. What do you propose to do? Why does your proposal require an appeal to the board of adjustment?

remove existing tool shed and replace with larger shed

See attached map

**Attach additional sheets of paper as necessary.**

**SPECIFIC REASON THE VARIANCE IS NECESSARY:** A Variance is requested from Zoning

Ordinance, Article 3, Section 3.10 to permit

to increase size of shed within road setback

**Facts in support of granting the variance:**

1. Granting the variance would not be contrary to the public interest because:

this is a small change in the shed footprint

2. If the variance were granted, the spirit of the ordinance would be observed because:

new shed would not impact any environmental concerns or neighbors property

3. Granting the variance would do substantial justice because:

I will be able to better store my garden tools  
No other place is suitable. No options.



4. If the variance were granted, the values of the surrounding properties would not be diminished because:

new proposed shed will be larger but in the same general footprint

5. ☒ Unnecessary Hardship

- a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

- i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

~~there~~ there are no other location options.  
There are limitations from the ordinances.

- and -

- ii. The proposed use is a reasonable one because:

new shed is for garden tool storage  
The new shed would increase non conforming by 48 SF.

- b. Explain how, if the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

Oak Ridge Road is a quiet neighborhood traditionally  
comprised of cabins used for access to water  
recreation  
There is no other location options that will meet zoning requirements

NOTE:

For person(s) with physical disabilities,  
please see RSA 674:33 regarding alternative hardship criteria for a Variance.

**SIGNATURE:** I understand that the public hearing will be held at the scheduled date and time unless a request is made by me for a new hearing. Any rehearing will require a new public notice and notification to abutters, the cost of which will be borne by the applicant. Further, I hereby give permission to the ZBA members and zoning officials to visit the subject property prior to the public hearing. To the best of my knowledge, the above is true and correct.

1/1/2023  
Landowner(s) Signature(s)

8-15-23  
Date

RECEIVED SEP 15 2023

# Certificate of Zoning Compliance (CZC) Permit Application

## TOWN OF SUNAPEE

23 Edgemont Rd., Sunapee, New Hampshire 03782  
(603) 763-2212 ext. 1023

Email [zoning@town.sunapee.nh.us](mailto:zoning@town.sunapee.nh.us)

Website [www.town.sunapee.nh.us](http://www.town.sunapee.nh.us)

DATE APPLICATION REC'D: \_\_\_\_\_

FEE PAID: \$ \_\_\_\_\_ METHOD: \_\_\_\_\_

ZONE: \_\_\_\_\_

PARCEL ID: \_\_\_\_\_

PERMIT APPROVAL # \_\_\_\_\_

Revised 7/21/2023



**Thank you for applying for a permit!** A Certificate of Zoning Compliance (CZC) is required for most construction in Sunapee (see 1-8 below). Your project will be reviewed to make sure it meets the town's zoning regulations. All references (in parentheses and underlined) refer to a specific regulation in the Zoning Ordinance. The complete ordinance is available on our website and at the town office.

**NEXT STEP:** After staff review, the application will be moved to the next Board of ✓  
Selectmen's meeting for final approval.

**PICK UP:** Your permit will be ready to pick up starting the afternoon after the Board of Selectmen meeting. If you want it mailed to you, please let us know.

**EXPIRATION:** Permits will expire in 12 months if no earnest or substantial effort has been ✓  
made to carry out the construction or alteration (8.23 & 8.25).

**QUESTIONS?** Please contact the Planning & Zoning Department anytime with questions.

**WHEN IS A CZC PERMIT REQUIRED?** A CZC is required prior to beginning any of the following activities (8.21):

1. Will a new structure be constructed or installed? ..... ☒ YES ☐ NO
2. Will an existing structure be expanded? ..... ☐ YES ☒ NO
3. Will a dwelling unit be added to an existing structure? ..... ☐ YES ☒ NO  
A "dwelling unit" is like an apartment or additional house. It includes independent cooking, sleeping, and sanitary facilities. (XI)
4. Does the project involve a structure owned by the Town of Sunapee (municipal building)? ..... ☐ YES ☒ NO
5. Will a bedroom or kitchen be added to an existing structure? ..... ☐ YES ☒ NO
6. Will an existing structure be demolished? ..... ☒ YES ☐ NO
7. Did the Planning Board approve a Site Plan for this proposal? ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of the board's Notice of Decision.
8. Does the project involve interior renovations in excess of \$25,000? ..... ☐ YES ☒ NO

## DESCRIPTION

PROPERTY STREET ADDRESS: 46 Oak Ridge Rd Lot Size: .23 acres

OWNER(s) Name(s): Sarah / Hugh McCann

Mailing Address: P.O. Box 540

Email: HughMcCannJr@gmail.com Phone #: 203-545-8851 c

Preferred method of contact: ☒ Phone ☐ Mail ☒ E-mail



NAME OF BUSINESS at this location (if applicable): \_\_\_\_\_

TYPE OF PROPERTY:

☒  
☐

Single-Family  
Two-Family

☐  
☐

Multi-family (3+ units)  
Commercial

☐  
☐

Municipal  
Other \_\_\_\_\_

NAME OF RIVER / LAKE / POND abutting property (if any): Other Pond

Was any decision made by the Planning or Zoning Board regarding this project? ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of the board's Notice of Decision.

WRITTEN DESCRIPTION of proposed project: \_\_\_\_\_

remove existing shed  
replace with larger shed

Estimated value of construction \$ 12,000 Estimated start date: May 2024

#### WATER & SEWER

9. ☐ FOR PRIVATE SEPTIC: Will this project result in increased septic flow or water utilization? ☐ YES ☒ NO  
☐ IF YES, attach a copy of your State septic system approval. Contact State of NH Department of Environmental Services with questions at (603) 271-2147.

10. ☐ FOR PUBLIC SEWER OR PUBLIC WATER:

a. Will this project involve any new residential structure, or any change in living space to a residential building? (do not include a typical shed or garage, unless there is living space within it) ..... ☐ YES ☒ NO

b. Will this project involve any hook-up, disconnect, or demolition for a structure on the town water or sewer system? ..... ☐ YES ☒ NO

☐ IF YES, attach a copy of your Permit Connection Approval from the Sunapee Water & Sewer Department. Forms are available at the town office. Contact the Sunapee Water and Sewer Department with questions at (603) 763-2115, [sunws@town.sunapee.nh.us](mailto:sunws@town.sunapee.nh.us).

**DIMENSIONS & MEASUREMENTS** – This section is ONLY for new structures or expanding structures, including any change in the building envelope, height or footprint. CHECK HERE IF NOT APPLICABLE ☐

11. ☐ DRAWINGS: Attach a copy of any drawings, floor plans, or elevations showing dimensions and measurements.

12. Dimensions:

Current Structure

Maximum height: 8 ft.  
Square footage: 48 sq. ft.

Proposed Structure

Maximum height: 10 ft.  
Square footage: 96 sq. ft.

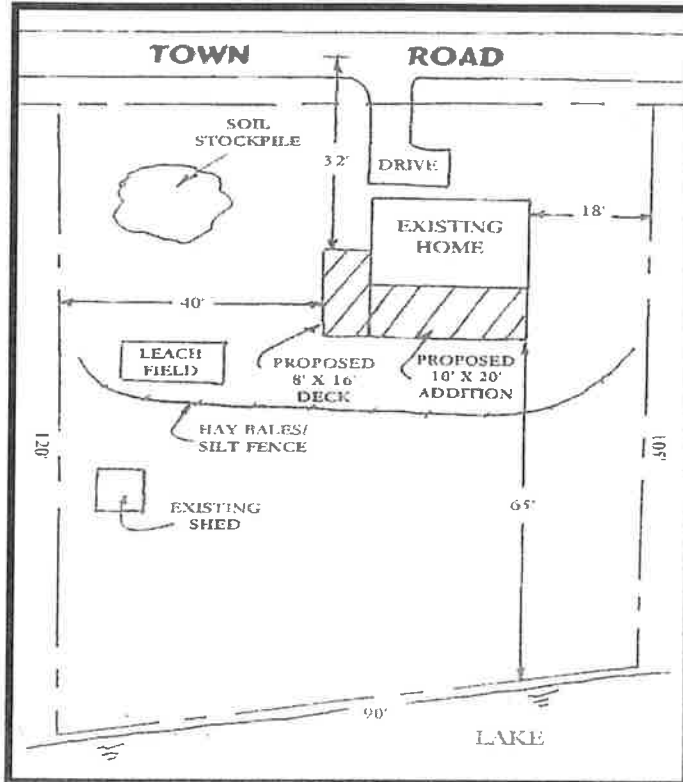
**DIMENSIONS & MEASUREMENTS** – This section is ONLY for new structures or expanding structures, including any change in the building envelope, height or footprint. **CHECK HERE IF NOT APPLICABLE** ☐

**13. What are the setback measurements for the proposed structure?**  
See Page 6 for Setback Requirements.

How to measure: Measure at right angles, between the property boundary and the furthest point of the structure.

	<u>Current Structure</u>	<u>Proposed Structure</u>
To center of road	<u>30</u> ft	<u>30</u> ft
Side 1	<u>10</u> ft	<u>10</u> ft
Side 2	_____ ft	_____ ft
Rear property line	_____ ft	_____ ft
Waterbody	_____ ft	_____ ft

14. ☒ **SURVEY:** If you have a Survey of the property, please attach a copy.
15. ☒ **ATTACH A SITE SKETCH / PLOT PLAN DRAWING.** See sample below.



**ABOUT HEIGHT RESTRICTIONS IN SUNAPEE**

- Definition of "Maximum Structure Height": The vertical distance measured from the lowest ground elevation around the structure to the highest level of the roof (excluding cupolas, weathervanes, etc.). (XI)
- 40-feet is the maximum structure height allowed in all districts. (3.10)
- The maximum height of any windowsill or roof eaves shall be no more than 30 feet above the grade directly below it. Windows or eaves located in roof appendages such as cupolas or skylights shall be excluded from this ordinance. (3.40.i)
- If a structure is allowed a reduced side or rear setback due to inadequate lot size (see chart on p. 6), the portion of the structure in the area of reduced setback shall have a maximum height of 25'. (3.10)



## ZONING QUESTIONS

16. **WETLANDS: Will any wetlands be disturbed or impacted?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your State Wetlands permit. NOTE: only certified specialists can delineate wetlands. Contact State of NH Department of Environmental Services with questions at (603) 271-2147.
17. **DRIVEWAY: Will a new driveway be altered or constructed?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your town Driveway Permit approval or application. Applications are available at the town office and on the town website.
18. **ROUTE 11, 103, 103B: Is this a new construction project on Routes 11, 103 or 103B?** ..... ☐ YES ☒ NO  
 Note: see the requirements for maintaining or planting a 25-foot vegetative buffer. (3.40.o)
19. **RETAINING WALL: Will this project involve a retaining wall over 42" high?** ..... ☐ YES ☒ NO  
 Note: retaining walls over 42" must meet all setback requirements. (3.40.i)
20. **STEEP SLOPE: Will any construction take place on a slope that exceeds 25% and has an elevation change of more than 20-feet? (3.40.l)** ..... ☐ YES ☒ NO
21. **1,000 SF & 15% SLOPE: Will 1,000 square feet of land be disturbed on a slope greater than 15%?** ..... ☐ YES ☒ NO  
☐ IF YES, attach an Erosion Control Plans (3.40.n). Contact the Zoning Administrator with questions.
22. **100,000 SF IMPACT: Will 100,000 square feet of land be cleared or disturbed?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your State of NH Alteration of Terrain Permit, and a copy of an engineered Erosion Control Plan. (3.40.n). Contact the Zoning Administrator with questions.

**SHORELINES OVERLAY DISTRICT** – This section is ONLY for properties located within 250-feet of a public water body. Public Water Bodies include: Sugar River, Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond and Perkins Pond.

**CHECK HERE IF NOT APPLICABLE** ☐

23. **FLOODPLAIN: Is any portion of this property located in the 100-year FEMA floodplain?** ..... ☐ YES ☒ NO  
 Note: this application will be reviewed per Sunapee Floodplain Development Ordinance. If you have a LOMA (Letter of Map Amendment) showing the project is outside the floodplain, you may attach a copy to this application.
24. **STATE PERMIT: Have you applied or received a permit from the State for this project?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy. NH DES Permit # .....  
 Contact State of NH Dept. of Environmental Services with questions at (603) 271-2147.
25. **LAND DISTURBANCE / SHORELINES: Will any Land Disturbance, Construction, Filling, Grading or Dredging occur within 250-feet of the lake, pond or river?** ..... ☐ YES ☒ NO  
☐ IF YES, attach a copy of your Land Disturbance Permit and Erosion Control plans. (4.33.B.8.a.i). Land Disturbance Permit applications are available at the town office and on the town website.
26. **150-FOOT WOODLAND BUFFER: Will any trees or vegetation be removed within 150-ft of the lake, pond or river?** ..... ☒ YES ☐ NO  
☒ IF YES, attach a copy of a Tree Cutting & Vegetation Removal permit. Permit applications are available at the town office and on the town website.
27. **50-FOOT WATERFRONT BUFFER: Will this project involve any parking area or any structures within 50-feet of the lake, pond or river? (3.40.c)** ..... ☐ YES ☒ NO
28. **LOT COVERAGE:** What percentage of the lot will be covered? SEE PAGE 6 for restrictions.

	Current	Proposed
Impermeable Surfaces (not allowing water to pass through)	14.45 %	14.93 %
Permeable Surfaces (having pores or openings that permit water to pass through)	_____ %	_____ %
TOTAL LOT COVERAGE	_____ %	_____ %

## IMPORTANT INFORMATION FOR PROPERTY OWNERS

### About State Building Codes:

Property owners often ask "do I have to build things 'to code' in New Hampshire?" **Yes!** The State of New Hampshire has adopted state-wide building codes that are in effect in all towns and cities (see NH RSA 155-A, as may be amended). There are codes for electrical, plumbing, construction, mechanical, energy conservation, etc. Although the Town of Sunapee does not offer local inspection services, plan review, or enforcement of State building code compliance, we recommend that you contact your contractor or other professional to assist you with questions related to building codes. You may direct questions to the New Hampshire Department of Safety, Bureau of Building Safety & Construction, (603) 223-4289, [fmo@dos.nh.gov](mailto:fmo@dos.nh.gov).

### What is your Parking & Traffic Plan during construction?

Sunapee's Town Parking Ordinance prohibits parking on the road. Also, parking off the side of a road could cause damage to the Town's right-of-way, drainage ditches and infrastructure. The person who causes damage may be liable. In addition, no road may be blocked without first getting permission from the Police Department. To make special parking arrangements during construction, communication with the police and highway department about your plan is key. Contact Info: Police Department (603) 763-5555 / [david.cahill@sunapeepd.com](mailto:david.cahill@sunapeepd.com); Highway Director (603) 763-5060 [ScottH@town.sunapee.nh.us](mailto:ScottH@town.sunapee.nh.us).

### About Dig Safe®:

Be sure to contact Dig Safe® before you or your contractor does any digging, even for small projects. There are state laws and common-sense reasons why you must contact Dig Safe before you dig. Dig Safe® has a system to notify utility companies that might have underground services, so those companies can flag the utilities before someone starts digging. For more info, call 811 or visit [www.digsafe.com](http://www.digsafe.com).

### About Energy Code:

Did you know that the New Hampshire Public Utilities Commission (PUC) will review your proposal to make sure it meets with the State's energy code? They will review the insulation factors, types of window ratings, etc. See RSA 155:A10-a (as may be amended). To take advantage, contact the PUC. For more info, contact (603) 271-6306, e-mail [EnergyCodes@puc.nh.gov](mailto:EnergyCodes@puc.nh.gov) or website <http://www.puc.state.nh.us/energycodes/residential.htm>.

### About Asbestos:

The State of New Hampshire has established certain requirements for licensing asbestos contractors and addressing asbestos hazards. Many homeowners have asbestos-containing materials in their homes and there are requirements if a contractor or a homeowner disturbs or removes asbestos. The State has rules about where you can dispose of or how to get rid of materials that have asbestos. For more info, call the State of NH's Asbestos Management Division at (603) 271-1370 or visit [www.des.nh.gov](http://www.des.nh.gov) or [www.epa.gov/asbestos](http://www.epa.gov/asbestos).

## SIGNATURE(S) & AUTHORIZATION

### ALL OWNERS MUST SIGN THIS APPLICATION

BY SIGNING BELOW, I certify that the representations contained herein are true and accurate to the best of my knowledge and I hereby acknowledge that the town is relying on my representations contained within this application to evaluate whether to issue the permit or certificate. I acknowledge that in evaluating this request, the town is not independently verifying or certifying any representations made by the applicant. I hereby grant permission for site visits and inspections by zoning officials(s).

Owner Signature: Hugh F. McCann Jr Printed Name: Hugh F. McCann Jr Date: \_\_\_\_\_

Owner Signature: \_\_\_\_\_ Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

IF USING AN AUTHORIZED AGENT: If the property owner wishes to authorize someone else to apply on their behalf, they must submit a letter attached to this application. The authorization letter must be signed by all property owners and contain the following statement: "(name/company/contact info) has authority to act on my behalf regarding the property and this application and is authorized to submit, amend, alter or supplement this application."

Authorized Agent Signature: \_\_\_\_\_ Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

THANK YOU FOR COMPLETING THE APPLICATION!



**REFERENCE CHART**
**(3.10 & 3.20)**

Requirement	Village Comm.	Village Residential	Mixed Use I	Mixed Use II	Mixed Use III	Residential	Rural Residential	Rural Lands
<b>Minimum Lot Size</b>	0.5 Acres	0.5 Acres	0.5 Acres	1.0 Acres	1.5 Acres	1.0 Acres	1.5 Acres	3.0 Acres
<b>Maximum Residential Density</b> (du=dwelling unit)	1du 10,000 Square Ft.	1du 10,000 Square Ft.	1du 0.5 Acres	1du 0.5 Acres	1 du / 1.5 Acres	1du 1.0 Acres	1du 1.5 Acres	1du 3.0 Acres
Minimum Road Frontage	75'	75'	75'	75'	100'	75'	100'	150'
<b>Minimum Front Setback</b> (Rt. 11,103, 103B)	75'	75'	75'	75'	75'	75'	75'	75'
<b>Minimum Front Setback</b> (All other roads as defined in Article XI)	40'	40'	40'	40'	50'	50'	50'	75'
<b>Side &amp; Rear Setbacks</b> for Lots Meeting or exceeding minimum lot size or Lots which are not Pre-Existing	10'	15'	15'	25'	25'	15'	25'	50'
<b>Side &amp; Rear Setbacks</b> for Pre-existing Lots Below Minimum Size	10'	10'	10'	15'	15'	10'	15'	25'
<b>Maximum Lot Coverage</b>	80%	60%	80%	50%	40%	50%	40%	30%
<b>* Maximum Structure Height *</b>	40'	40'	40'	40'	40'	40'	40'	40'
* If a structure is allowed a reduced side or rear setback due to inadequate lot size, the portion of the structure in the area of reduced setback shall have a maximum height of 25'.								
Requirement	Village Comm.	Village Residential	Mixed Use I	Mixed Use II	Mixed Use III	Residential	Rural Residential	Rural Lands
<b>MINIMUM LOT SIZE (FOR PROPERTIES IN A SPECIAL OVERLAY DISTRICT):</b>								
<b>1) Shoreline</b>	1.0 Acres	1.0 Acres	1.0 acres	N/A		1.0 Acres	1.5 Acres	1.5 Acres
<b>2) Aquifer</b>	2.0 Acres	2.0 Acres	2.0 Acres	2.0 Acres		2.0 Acres	2.0 Acres	2.0 Acres
<b>3) Wetlands</b>	1.5 Acres	1.5 Acres	1.5 Acres	1.5 Acres		1.5 Acres	1.5 Acres	1.5 Acres
<b>MAXIMUM LOT COVERAGE (FOR PROPERTIES IN A SPECIAL OVERLAY DISTRICT):</b>								
<b>1) Shoreline Impermeable</b>	60%	30%	N/A	N/A		30%	25%	20%
<b>Shoreline Permeable &amp; Impermeable combined</b>	80%	60%	N/A	N/A		50%	40%	30%
<b>2) Aquifer</b>	20%	20%	20%	20%		20%	20%	20%
<b>3) Wetlands</b>	0%	0%	0%	0%		0%	0%	0%

**PERMIT FEES****THERE IS NO CHARGE IF THE PROJECT ONLY INVOLVES INTERIOR RENNOVATIONS.**

To meet this requirement, the interior renovation may not include adding bedrooms, kitchens or dwelling units.

NOTE: The Town does not require a permit application for interior renovations under \$25,000. (VIII.8.21)

**RESIDENTIAL PROJECTS** - (single family and two-family dwellings):

New Home - Including manufactured housing and prefabricated housing, etc. Finished space only.

Be sure that you also add an additional fee below for each shed, deck, porch or garage.

..... Up to 2000 S/F	\$600	\$
..... 2000 – 5000 S/F	= \$1200	\$
..... 5000 S/F	= \$1,800	\$

Residential Additions or Alterations - This section includes additions, expansion of footprints, or any project that involves the adding of a bedroom, kitchen or dwelling unit.

..... Up to 500 S/F	= \$180	\$
..... 500 S/F+	= \$360	\$

Sheds / Decks / Porches/Permanent Pools ..... \$60 / each \$

Garages ..... \$300 \$

After-the-Fact Zoning Compliance Permit - Residential or other non-commercial projects .. \$300 \$

A regular zoning compliance application must also be submitted with this permit.

**COMMERCIAL, INSTITUTIONAL, MULTI-FAMILY RESIDENTIAL (3+ Unit), & MUNICIPAL PROJECTS**

(including convalescent homes, nursing home, assisted living and other multi-person dwellings):

New Structures, Accessory Structures and Additions or Alterations

that involve a change of footprint ..... \$240 + \$.60 S/F \$

Alterations that do not involve a change of footprint

(SF will only apply to any additional floor area created by or occupied as a result of the alteration.)

This section includes projects that went to Site Plan, projects that do not involve a change of footprint, or any project that involves the adding of a bedroom, kitchen or dwelling unit.

..... \$120 + \$.60 S/F \$

After-the-fact Zoning Compliance Permit ..... \$330 \$

A regular zoning compliance application must also be submitted with this permit.

**OTHER FEES**

Alternative Energy Systems: Solar collectors, roof mounted energy producing systems, etc. .... \$112.50 \$

Alternative Energy Systems: Tower Mounted systems ..... \$225 \$

Demolition Permit (unless associated with rebuilding projects)..... \$75 \$

Driveway Permit ..... \$75 \$

Land Disturbance Permit ..... \$50 (plus security) \$

Meteorological Tower ..... \$225 \$

Permit to Excavate, Highways/Streets ..... \$75 \$

Sign Permit..... \$30 \$

Telecommunications - Accessory Structures for Telecommunications Use ..... \$300 \$

Telecommunications Towers ..... \$1,500 \$

Temporary Structures, such as trailers and container boxes used for storage, construction offices,

temporary living for use more than 60 consecutive days..... \$75 each unit \$

Tree Cutting Permit..... \$75 \$

**TOTAL** ..... **AMOUNT DUE:** \$

**Make check payable to Town of Sunapee.**





**TOWN OF SUNAPEE**  
***Water and Sewer Commission***

P.O. Box 347, Sunapee, NH 03782-0347  
(603) 763-2115

**Permit Application**

**Connection to Sunapee Municipal Water/Sewer System**

Name: \_\_\_\_\_ Map/Lot: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Street Location of New Service: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_

Number of Units Proposed (0-5 Bedrooms=1 Unit) \_\_\_\_\_

Approximate Date of Installation \_\_\_\_\_

Name of Contractor \_\_\_\_\_

Address of Contractor \_\_\_\_\_

\_\_\_\_\_

Phone # of Contractor \_\_\_\_\_

\_\_\_\_\_

Signature of Applicant

Date

\_\_\_\_\_

Sewer Attachment Fee

Sewer Bond Fee

Water Attachment Fee \_\_\_\_\_

Total Fee Due Prior to Connection to Municipal System \_\_\_\_\_

Total Fee Received By \_\_\_\_\_ Date \_\_\_\_\_

PERMIT APPROVAL # \_\_\_\_\_

**TOWN OF SUNAPEE  
TREE CUTTING & VEGETATION CLEARING  
REQUEST FORM  
FEE-\$75**

For properties 250' or closer to certain lakes, pond and rivers.

**This application is required prior to:**

- 1) Any tree cutting within 150' of Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond, Perkins Pond, Sugar River
- 2) Any stump or root removal within 50' of Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond, Perkins Pond, Sugar River
- 3) Any project that involves the removal of more than 1,000 square feet of vegetation (plants, trees or saplings) within 150-feet of Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond, Perkins Pond, Sugar River

**What is the Shoreline Overlay?** All lands within 250' feet of Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond, Perkins Pond, Sugar River.<sup>i</sup>

**What is the Natural Woodland Buffer?** The Natural Woodland Buffer is the area within 150-feet from the shorelines (normal high-water mark) of Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond, Perkins Pond, Sugar River.<sup>ii</sup>

1. Landowners Name: Hugh + Sarah McCann 2. Parcel ID: 104/057/000  
 2. Parcel Street Address: 46 Oak Ridge Road Georges Mills NH 03751  
 3. Mailing Address: P.O. Box 540  
 4. Phone #: 203-545-8857 cell 5. Email: hughmccannjr@gmail.com  
 5. Preferred method of contact (check all that apply): ☐ Phone ☒ Email ☐ US Post Mail  
 6. Name of river/lake/pond abutting property: Otter Pond

**Have you obtained any permits from State of NH, Department of Environmental Services (DES) for this project?**

☐ Yes ☒ No ☐ If yes, attach copy of permit to this application.

*NOTE: Any cutting, or removal of natural vegetation, on ponds, lakes or rivers must be by permit from DES.<sup>iii</sup>*

**PROPOSED TREE CUTTING**

**Please mark all trees listed on this application with ribbon or surveyor's tape to assist the Town with any necessary site inspections. Attach any plan, site sketch, or photos to this application. Be sure to include location of buildings and driveways in relation to proposed tree cutting, and measurements to the shoreline and/or property lines.**

Are you planning to cut more than 5 trees in the Woodland Buffer within a 12-month period? ☐ Yes ☒ No

Are those trees at least 6" in diameter (or 18" circumference) at 4.5' above the ground? ☐ Yes ☒ No

- ☐ **If yes, attach to this application a Cutting & Clearing Plan**, showing the exact location, size and type of tree to be cut. Your application will be reviewed by the Sunapee Planning Board at their next available meeting.<sup>iv</sup>



1. List all trees within the first 50-feet of the shoreline, that are at least 6" in diameter (i.e. 18" in circumference) at 4.5-feet above ground level.<sup>v</sup>

Tree Type	Diameter	Condition	Tree Type	Diameter	Condition
1. _____	_____	_____	4. _____	_____	_____
2. _____	_____	_____	5. _____	_____	_____
3. _____	_____	_____	(Attach list of additional trees if needed)		

2. List all trees located between 50 to 150-feet of the shoreline, that are at least 6" in diameter (i.e. 18" in circumference) at 4.5-feet above ground level.

Tree Type	Diameter	Condition	Tree Type	Diameter	Condition
1. <u>white pine</u>	<u>5-6"</u>	<u>thin</u>	4. _____	_____	_____
2. <u>white pine</u>	<u>5-6"</u>	<u>thin</u>	5. _____	_____	_____
3. _____	_____	_____	(Attach list of additional trees if needed)		

#### STUMPS & ROOTS WITHIN THE FIRST 50-FEET OF THE SHORELINE

Stumps and their root systems which are located within 50' of normal high-water shall be left intact in the ground, *unless* removal is specifically approved by the Wetlands Board (NH DES) pursuant to RSA 482-A.<sup>vi</sup>

Check the appropriate option below:

- ☐ 1. Stumps or roots systems will NOT be removed within the first 50-feet of the shoreline.
- ☐ 2. Stumps and roost systems WILL be removed within the first 50-feet of the shoreline, in accordance with the attached permit issued by NH DES.
- ☒ 3. Not Applicable. This project does not involve any activity within the 50-foot buffer.

#### PROPOSED VEGETATION REMOVAL

Does your project include removal of more than 1,000 square feet of vegetation (plants, trees or saplings) within 150-feet of the shoreline, i.e. the Natural Woodland Buffer?

☐ Yes ☒ No

- || If yes, attach to this application a Cutting & Clearing Plan. Include a diagram showing the square footage of the vegetation area to be removed and describe in detail the replanting plan. Your application will be reviewed by the Sunapee Planning Board at their next available meeting.<sup>vii</sup>

Note: Where natural vegetation is removed it shall be replaced with other vegetation that is equally effective in retarding runoff, preventing erosion and preserving natural beauty.<sup>viii</sup>

\*\*\* SEE PAGE 3 FOR SIGNATURE \*\*\*

## **ADDITIONAL GUIDELINES**

The following is a summary of additional requirements related to the Shoreline Overlay District, per the Sunapee Zoning Ordinance, *Article 4.33 Shorelines - Specific Provisions, Section B, (8) Erosion Control, Part (B) Cutting and Removal Of Natural Vegetation Within The Natural Woodland Buffer*. You may read the Zoning Ordinance in its entirety online at [www.town.sunapee.nh.us](http://www.town.sunapee.nh.us) or view the paper copy available at the Sunapee Town Office, 23 Edgemont Road.

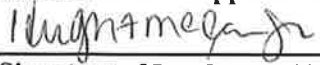
### **Concerning The Removal Of Natural Vegetation Within The Natural Woodland Buffer:**

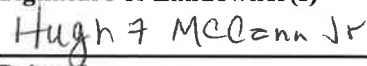
- Where natural vegetation is removed it shall be replaced with other vegetation that is equally effective in retarding runoff, preventing erosion and preserving natural beauty.<sup>ix</sup>
- The following activities are permitted within the Natural Woodland Buffer: normal trimming, pruning, and thinning (of saplings less than 6" in diameter) to enhance growth, to minimize the entry of vegetative debris into lakes and ponds, or to prevent the overgrowth of natural beaches; and felling and replacement of decaying trees and shrubs.<sup>x</sup>
- Not more than 50% of the entire basal area\* may be removed for any purpose in a 20-year period. Replacement planting with native or naturalized species may be permitted to maintain the 50% level.
  - Exception: Up to 7,500 square-feet of basal area removed for structures, driveways, or parking areas shall be excluded when computing percentage limitations.<sup>xi</sup>
- A *Well-Distributed Stand of Vegetative Matter* (see definition below) shall be maintained in the Natural Woodland Buffer . . .
  - Exception: . . . except for those areas within 20' of existing or proposed structures, 12' from the centerline of driveways, and 10' from the edge of parking areas.<sup>xii</sup>
- **DEFINITIONS - *Well-Distributed Stand of Vegetative Matter*** - This matter includes trees, saplings, shrubs, and ground covers and their living, undamaged root systems. The distribution of such shall be as follows<sup>xiii</sup>:
  - *Undeveloped Lots (Prior to March 12, 1996)* - Permitted cutting per 50 feet of linear water frontage shall not reduce the total *basal area* below 9 square feet. If a lot is not 150' in depth, the required *basal area* shall be proportioned accordingly. Saplings with less than 2" diameter shall not be used to calculate minimum *basal area*. In no case shall there be any area more than 500 square feet completely cleared of vegetative matter unless such is naturally occurring.
  - *Lots with Dwelling Units (Prior to March 12, 1996)* - Permitted cutting per 50 feet of linear water frontage shall not reduce the total *basal area* below 6 square feet. If a lot is not 150' in depth, the required *basal area* shall be proportioned accordingly. Saplings with less than 2" diameter shall not be used to calculate minimum basal area.
  - *Basal area\** is defined as the cross-sectional area of a tree measured at a point 4.5' above the ground. (Adopted 3/12/1996).
    - *\*Basal Area:* For purposes of this application, the basal area is considered the cross section at 4.5' from the ground of all trees, shrubs and saplings with at least a 2" diameter.

---

### **SIGNATURE OF PROPERTY OWNER(S):**

By signing below, I verify that: 1) all trees listed on this application have been marked with ribbon or surveyor's tape; 2) I have read the above Additional Guidelines; and 3) I give permission for a Town official(s) to visit the property in association with the approval of this application.

  
\_\_\_\_\_  
Signature of Landowner(s)

  
\_\_\_\_\_  
Printed Name(s)

8-15-23  
\_\_\_\_\_  
Date



**THIS PAGE TO BE COMPLETED BY TOWN OF SUNAPEE:**

☐ Planning Board action required.

☐ Planning Board not required.

\_\_\_\_\_  
Signature of Zoning Administrator

\_\_\_\_\_  
Date

**Planning Board**

The application was reviewed by the Sunapee Planning Board on \_\_\_\_\_ (date) and the following action was taken:

☐ Approved

☐ Approved with Conditions

☐ Denied

☐ Other

Signature of Planning Board Chair or Town Planner: \_\_\_\_\_

Printed Name / Title: \_\_\_\_\_ Date: \_\_\_\_\_

**Zoning Administrator**

The Applicant is hereby **Granted / Denied** a permit for cutting trees and/or clearing vegetation at

Parcel ID \_\_\_\_\_ pursuant to the attached application and conditions.

Conditions: \_\_\_\_\_

\_\_\_\_\_  
Signature of Zoning Administrator

\_\_\_\_\_  
Date

**SOURCES** from Sunapee Zoning Ordinance, March 2017 Edition

- i Article II, Section 2.30, Water Resources Overlay Districts (3).
- ii Article IV, Section 4.33 Shorelines - Specific Provisions, Section B, (8) Erosion Control, Part (b) Cutting And Removal of Natural Vegetation within the Natural Woodland Buffer.
- iii Article IV, Section 4.33.B.(8).(b).(I)
- iv Article IV, Section 4.33.B.(8).(b).(I).(1-2)
- v Article IV, Section 4.33.B.(8).(b).(I).(1)
- vi Article IV, Section 4.33.B.(8).(b).(VI)
- vii Article IV, Section 4.33.B.(8).(b).(I).(1-2)
- viii Article IV, Section 4.33.B.(8).(b).(III)
- ix Article IV, Section 4.33.B.(8).(b).(III)
- x Article IV, Section 4.33.B.(8).(b).(IV)
- xi Article IV, Section 4.33.B.(8).(b).(V)
- xii Article IV, Section 4.33.B.(8).(b).(VII)
- xiii Article XI: Definitions and Explanations - Well-Distributed Stand of Vegetative Matter



# 40 foot Abutters List Report

Tri Town, NH  
September 15, 2023

RECEIVED SEP 15 2023

## Subject Property:

Parcel Number: Sun-0104-0057-0000  
CAMA Number: Sun-0104-0057-0000  
Property Address: 46 OAK RIDGE RD

Mailing Address: MCCANN JOINT REVOC TRUST, HUGH  
HUGH F & SARAH MCCANN, TRUSTEE  
1513 SAN YSIDRO WAY  
VENICE, FL 34285

---

## Abutters:

Parcel Number: Sun-0103-0020-0000  
CAMA Number: Sun-0103-0020-0000  
Property Address: 57 OAK RIDGE RD

Mailing Address: HUNG, SIMON J AND FAYE K  
425 GEORGIANA DR  
MIDDLETOWN, DE 19709

Parcel Number: Sun-0104-0055-0000  
CAMA Number: Sun-0104-0055-0000  
Property Address: 49 OAK RIDGE RD

Mailing Address: MONROE FAMILY REVOC LIVING TRU  
EMILY & JOSHUA MONROE, TRUSTEE  
PO BOX 474  
GEORGES MILLS, NH 03751

Parcel Number: Sun-0104-0057-0000  
CAMA Number: Sun-0104-0057-0000  
Property Address: 46 OAK RIDGE RD

Mailing Address: MCCANN JOINT REVOC TRUST, HUGH  
HUGH F & SARAH MCCANN, TRUSTEE  
1513 SAN YSIDRO WAY  
VENICE, FL 34285

Parcel Number: Sun-0104-0058-0000  
CAMA Number: Sun-0104-0058-0000  
Property Address: 44 OAK RIDGE RD

Mailing Address: KONON 2006 REVOC TRUST, LOIS J  
VALERIE KONON  
PO BOX 13  
GEORGES MILLS, NH 03751



[www.cai-tech.com](http://www.cai-tech.com)

9/15/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 1



RECEIVED SEP 15 2023



**The Barn Raiser LLC**  
 3850 Route 9W  
 Highland, NY 12528  
 www.BarnRaiserSheds.com

**Estimate**

Date	Estimate #
8.2.2023	9189

Estimate For:

McCann, Sarah  
 46 Oak Ridge Rd  
 Georges Mills, NH 03751  
 203-414-1233  
 mcschwert@gmail.com

**Quality Amish Built Structures**

Description	Qty/Sq Ft	Terms		Rep
		30% down, Balance on Delivery		LP
Description	Qty/Sq Ft	Cost	Total	
8X12 Economy Quaker-LP ECONOMY Standards BEFORE changes: 50yr Painted LP Smartside, 2x4 wall studs 16'oc, 5" 8" ProStruct floor o PT 2x4 floor joists 16'oc o -4x4 PT runners, 1-set double barn doors (no pattern in door) with lock key, 2-gable end vents, 30yr architectural shingles o felt, aluminum corner trim, osb roof sheathing, diamond plate door threshold, single top plate, no windows, basic trim Upgrade to 6" Pine LOG Siding		4,235.00 0.00	4,235.00T 0.00T	
Delivery & Set-Up Fees - Direct Delivery from Builder to Customer - approximate distance 460 miles - To Be Determined upon Quote Submission		1,694.00 0.00	1,694.00T 0.00	

**THANK YOU FOR GIVING US THE OPPORTUNITY TO PROVIDE YOU WITH A QUOTE.  
 PLEASE CALL US IF YOU HAVE ANY QUESTIONS.**

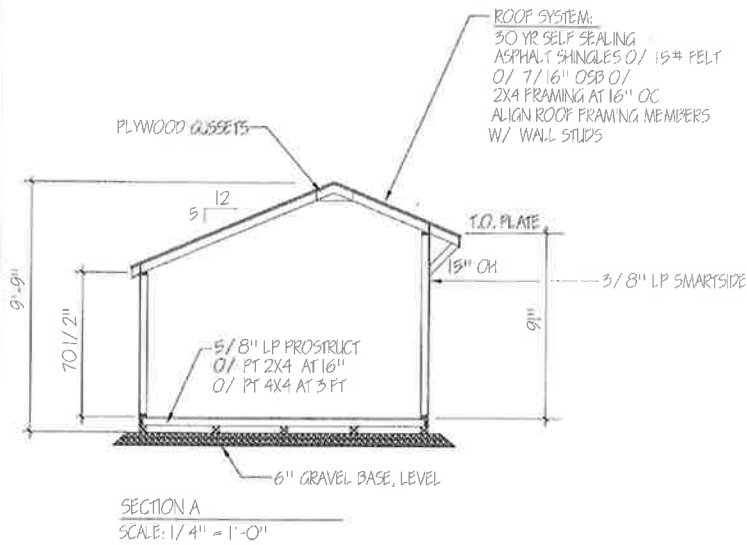
This estimate is good for 14 days. Deposits: 30% due at signing, 50% for A.L.L. modulars and custom work, 75% 25% terms for direct or out of state deliveries and finished structures. Deposit is NON-refundable after 3 days. BALANCE IS DUE AT OR PRIOR TO DELIVERY. NO EXCEPTIONS! Customer is responsible for site preparation & any permits. Site must be prepared and accessible by truck & trailer prior to delivery of the structure. Minimum of 24 hours notice required to reschedule a delivery. A min \$100 fee will be charged for any return trip if site is not accessible or customer is unable to take possession of structure at time of scheduled delivery. The Barn Raiser and its affiliates are not responsible for any property damage. Prices subject to change. All measurements are approximate. We are not responsible for typos prices subject to change.

<b>Subtotal</b>	\$5,929.00
<b>Sales Tax (0.0%)</b>	\$0.00
<b>Total</b>	\$5,929.00

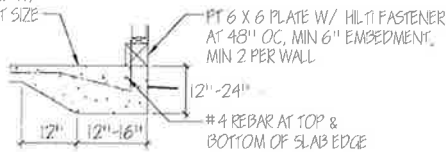
Phone #	Fax #	E-mail
845-834-3455	845-834-3691	info@barnraisersheds.com

Customer Signature: \_\_\_\_\_

2015 INTERNATIONAL RESIDENTIAL CODE W/ 2017 NYS UNIFORM CODE SUPPLEA

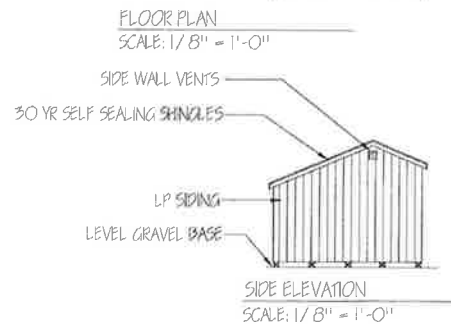
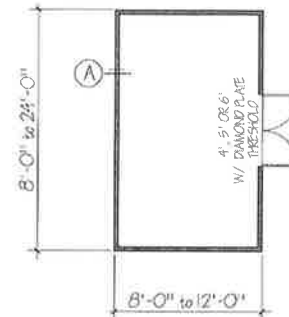


4" 3500 PSI CONCRETE SLAB W/ MESH O/ 4"-6" GRAVEL FILL. COORDINATE SLAB SIZE W/ BARN FOOTPRINT SIZE



SCOPE:  
GROUND SNOW LOAD:  
WIND SPEED:  
TOPOGRAPHIC EFFECTS  
SPECIAL WIND REGION  
WIND BORN DEBRIS ZONE  
SEISMIC DESIGN CATEGORY:  
WEATHERING:  
FROST LINE DEPTH:  
TERMITE:  
WINTER DESIGN TEMP:  
ICE BARRIER UNDERLAYMENT:  
FLOOD HAZARDS:  
AIR FREEZING INDEX:  
MEAN ANNUAL TEMP:

RESIDENTIAL ACCESSORY BLDG (STORAGE  
40 PSF (EASTERN ULSTER COUNTY)  
115 MPH  
NO  
SEE WIND MAP  
NO  
B  
SEVERE  
48" (N/A FOR STORAGE SHEDS)  
MODERATE TO HEAVY  
2" (N/A FOR UNHEATED SHED)  
REQ'D IF HABITABLE SPACE (N/A FOR SHE  
AS PER PLANNING & ZONING  
<1500 (N/A UNHEATED SHED)  
48" (N/A UNHEATED SHED)





# LakeSmart

Award for Lake-Friendly Living



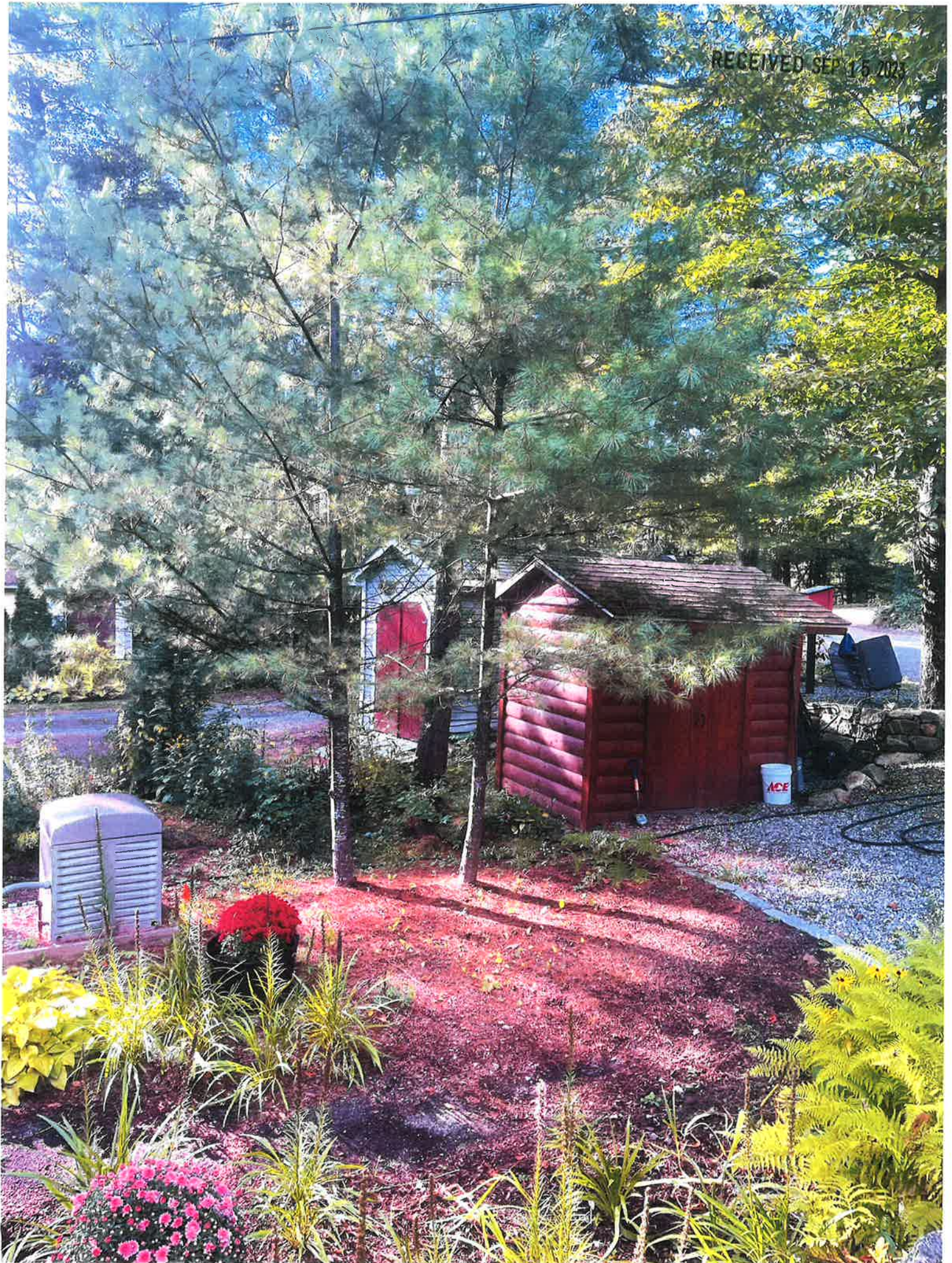
Working together for the  
lakes we all love.

[nhlakes.org](http://nhlakes.org)

603.226.0299



RECEIVED SEP 15 2023





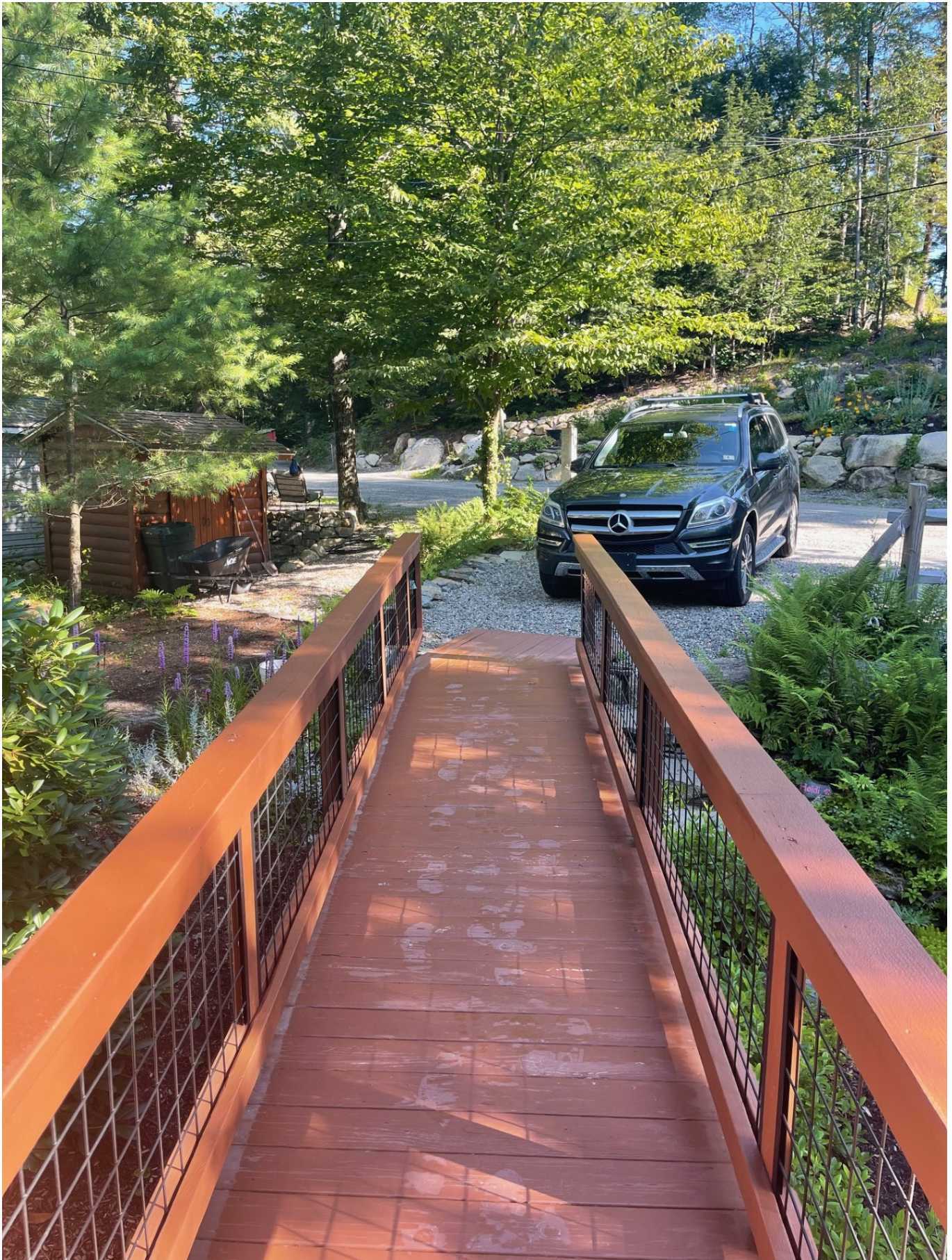


I mentioned a large rock at the hearing.

Here is where it is located.

My proposed new shed location will not interfere with this large stone.





This is a perfect photo showing my constraints.



---

Hugh F McCann Jr  
(m) [203-545-8857](tel:203-545-8857)  
[hughmccannjr@gmail.com](mailto:hughmccannjr@gmail.com)

On Nov 3, 2023, at 10:31 AM, Hugh McCann Jr <[hughmccannjr@gmail.com](mailto:hughmccannjr@gmail.com)> wrote:

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<IMG\_5241.jpeg>  
<IMG\_5242.jpeg>

These photos will show how limited my shed location options are.  
The current location is the only realistic location.  
One photo shows the pin of the property line and my neighbors old boat house.  
The handicap bridge bifurcates the property on the roadside.  
The parking slip is very small.  
My goal is to not have any visual pollution outside the shed.  
And secure my trash from our neighborhood black bear and fox! 🦊

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Hugh F McCann Jr  
(m) [203-545-8857](tel:203-545-8857)  
[hughmccannjr@gmail.com](mailto:hughmccannjr@gmail.com)

On Nov 3, 2023, at 10:03 AM, Hugh McCann Jr <[hughmccannjr@gmail.com](mailto:hughmccannjr@gmail.com)> wrote:

Thank you.  
While it is fresh in my mind, maybe I should drop by today to improve my answer for "hardship".

The question should have been:

Is the spot you are looking for a variance the only location option on the property? Yes.

And why is this location the best option? Read below.

In my case there are no conforming options.

I chose the existing location because a previous commission approved this location.

(I understand that today's guidelines have been updated and my application must be considered within this context)

I need machine access to my waterfront yard for any future projects including tree work.

There is currently a thin 8 foot wide pathway on the west side of cabin.

Secondly, my sewage pump line runs from cabin under the ground to the dirt road somewhere between my handicap bridge and the path I just described.

And I have 2 large propane tanks against the center of the cabin that requires clear access.

Bottom line, my new shed can only go where the existing shed is located. No closer to the amorphous dirt road or the abutting property line.

It will "grow" dimensionally towards the center of property but not block my path to the waterfront.

Allyson, I will attach several photos of the areas I have described.

I believe this is sufficient evidence as to why I chose the location for my new shed. If not please advise.

Thanking you and the Zoning Board in advance,  
Hugh McCann (Sarah)  
46 Oak Ridge Road  
PO Box 540  
Georges Mills NH  
03751

---

Hugh F McCann Jr  
(m) [203-545-8857](tel:203-545-8857)  
[hughmccannjr@gmail.com](mailto:hughmccannjr@gmail.com)



On Nov 3, 2023, at 8:46 AM, Allyson Traeger  
<[allyson@town.sunapee.nh.us](mailto:allyson@town.sunapee.nh.us)> wrote:



Good Morning Hugh,

Thank you for your kind words and positive attitude. I am happy to help provide guidance and clarification for the Zoning Board's request and review. Please feel free to share my contact information with anyone working on your behalf.

I hope you have a safe trip. We will be in touch to review the materials for the December 7 meeting. Let me know if you need anything else in the meantime.

Best,

Allyson Traeger  
Land Use and Assessing Coordinator  
Town of Sunapee  
23 Edgemont Rd, Sunapee, NH 03782  
Cell: (603) 558-7829

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**From:** Hugh McCann Jr <hughmccannjr@gmail.com>  
**Sent:** Thursday, November 2, 2023 11:42 PM  
**To:** Allyson Traeger <allyson@town.sunapee.nh.us>  
**Subject:** [EXTERNAL]Thank you

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Allyson,  
Your help is greatly appreciated. 😊

I am reasonably confident I can overcome the zoning board's need for additional detail....if I have guidance.

Someone I know who is experienced and attended the hearing reached out and offered to help me provide additional details for the December meeting.

I will send a letter to you indicating this person as my advocate while I am away in Florida.  
Additionally my builder will attend to provide construction detail.

I am not upset and support responsible zoning regulations. 🙏  
It is a process.

Thank you,  
Hugh McCann (Sarah)

46 Oak Ridge Road  
Georges Mills NH  
03751

<IMG\_5112.jpeg>

<IMG\_5113.jpeg>

<IMG\_5109.jpeg>

<IMG\_5110.jpeg>

<IMG\_5111.jpeg>

There was some curiosity about my gardening experiences on Oak Ridge Road.

I've been busy for 4 years planting hundreds of donated perennials on my property and for my Otter Pond neighbors. I just completed a huge Hosta roadside garden for a neighbor. Please share pictures.

---

Hugh F McCann Jr  
(m) [203-545-8857](tel:203-545-8857)  
[hughmccannjr@gmail.com](mailto:hughmccannjr@gmail.com)



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**[EXTERNAL]46 Oak Ridge Road**

Hugh McCann Jr &lt;hughmccannjr@gmail.com&gt;

Sat 11/4/2023 8:49 AM

To: Allyson Traeger &lt;allyson@town.sunapee.nh.us&gt;

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Allyson

I will schedule a call with you soon to discuss my shed application.

We are going to Florida on Nov 6th until June 1st.

Nick Robinson will represent me at the Dec 7th meeting.

If we can reference the property map you printed out I believe we can fill in the "hardship" detail required for non conforming approval.

If you can send the link to this map I can print out and add visual detail.

I am in good spirits. 😊

And now in retrospect would have included my narrative and handouts.

And perhaps projected pictures on the 2 screens.

Please share your thoughts,

Hugh

---

Hugh F McCann Jr(m) [203-545-8857](tel:203-545-8857)[hughmccannjr@gmail.com](mailto:hughmccannjr@gmail.com)



Propane

Generator

8 Ft access

Sewer Line

46 Oak Ridge Road



0

24

48

25'

TO centerline  
= 32'

22.7'

26.2'

30.5'

10.5'

75' 62' + 55.6'

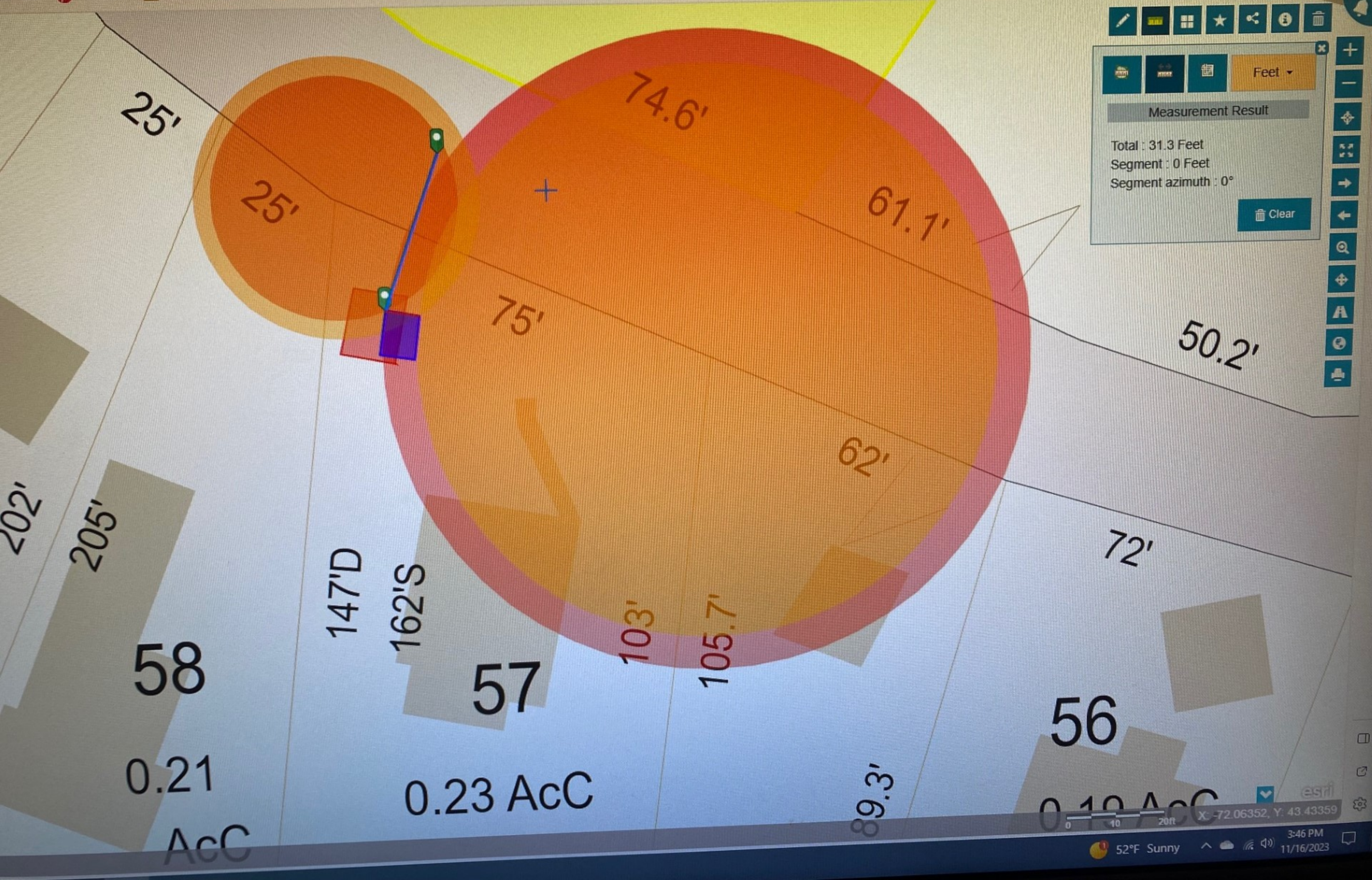
55.6'









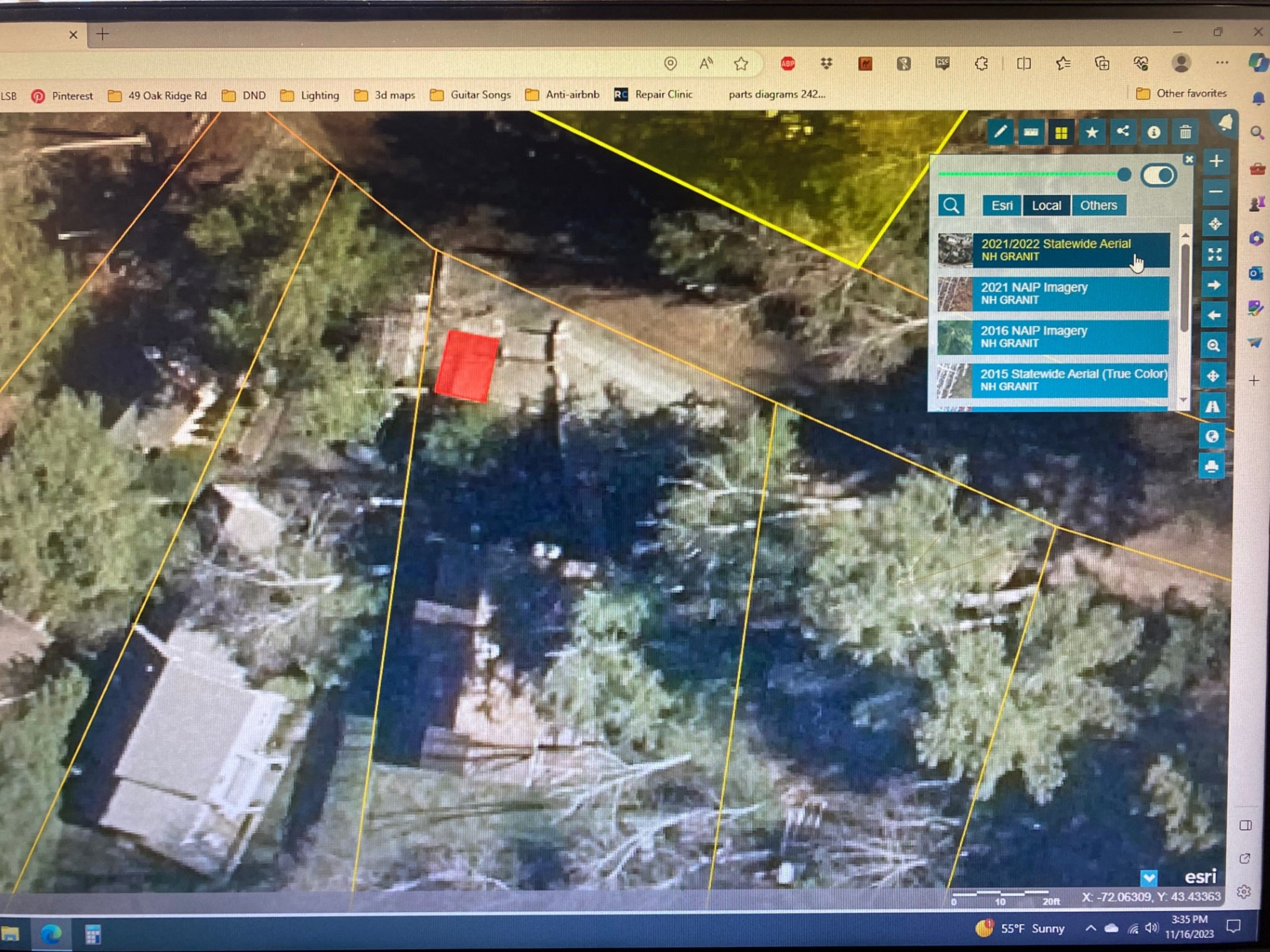


Measurement Result

Total : 31.3 Feet  
Segment : 0 Feet  
Segment azimuth : 0°

Clear





Layer selection panel with a search icon and tabs for Esri, Local, and Others. The list includes:

- 2021/2022 Statewide Aerial NH GRANIT
- 2021 NAIP Imagery NH GRANIT
- 2016 NAIP Imagery NH GRANIT
- 2015 Statewide Aerial (True Color) NH GRANIT