

**TOWN of SUNAPEE
PLANNING BOARD AGENDA
For THURSDAY July 13th, 2023
7:00PM at the TOWN MEETING ROOM
23 EDMONT ROAD**

Join Zoom Meeting <https://us06web.zoom.us/j/82504733736>

CONTINUED CASES

Case # SPR 23-03
Parcel ID: 0104-0084-0000

Demolition of existing structure and
construction of a new boat showroom. A
new 2000 sq ft lot to be constructed with
frontage to Cooper St.

CONTINUED UNTIL AUGUST 10, 2023

*Site Plan Review
Boat Showroom
1282 Route 11
Goodhue Sunapee Real Property, LLC
Mr. Cody Gray*

CONSULTATION

Parcel ID: 00137-0009-0000

Development of Beech Street Property, small home
development of approximately 15 homes.

*Brown Girls Family Trust
Edgemont Road
Abigail Brown*

MISCELLANEOUS:

Review Minutes from Previous Meeting(s).

OTHER BUSINESS:

Master Plan – Discussion of public listening
sessions

Zoning Amendments – Discussion of upcoming
changes for 2024

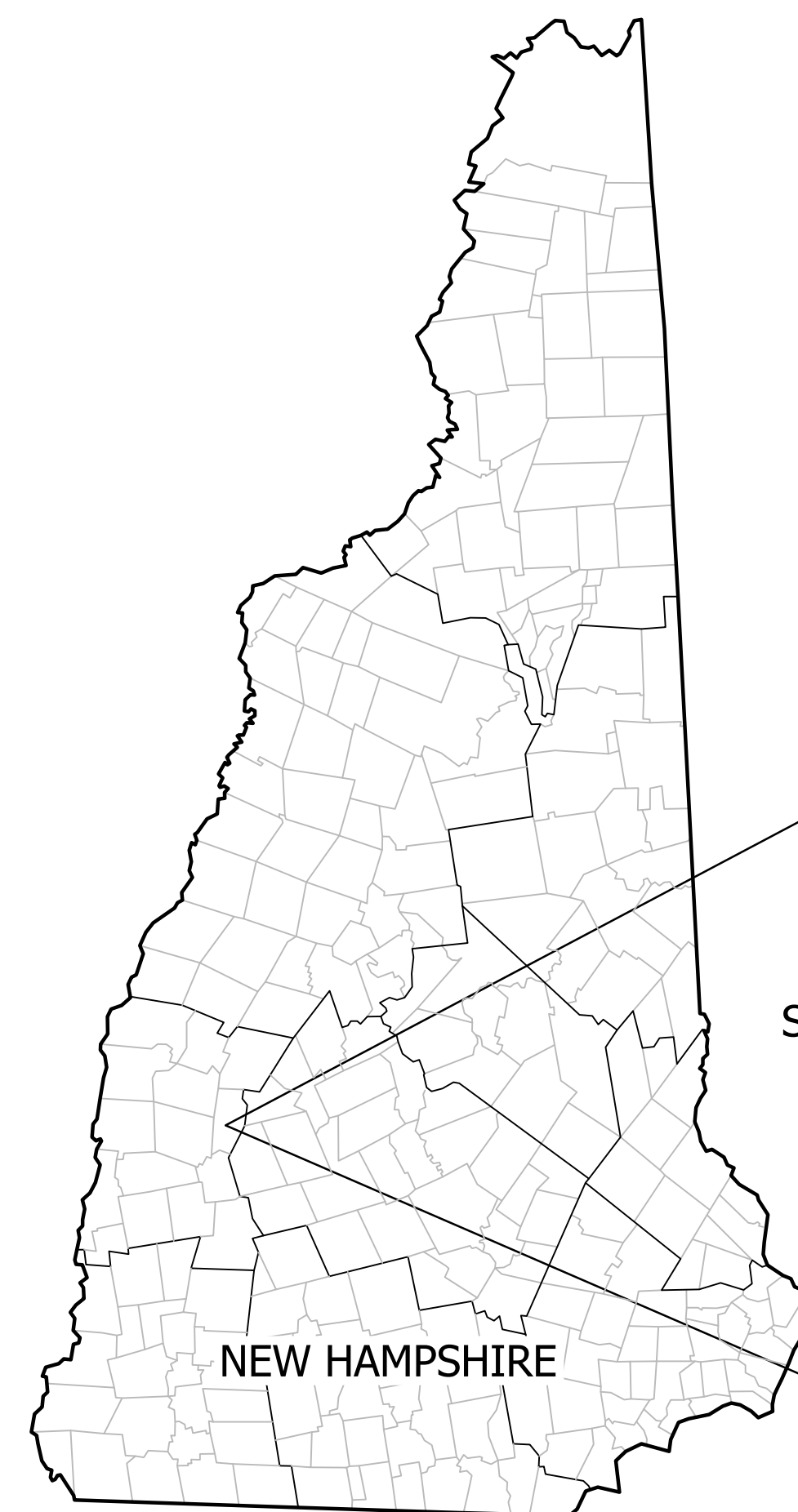
NOTE: In the event the meeting is cancelled, the agenda will be continued to the next scheduled Zoning Board meeting.

GOODHUE SUNAPEE REAL PROPERTY, LLC

GEORGES MILLS SHOW ROOM

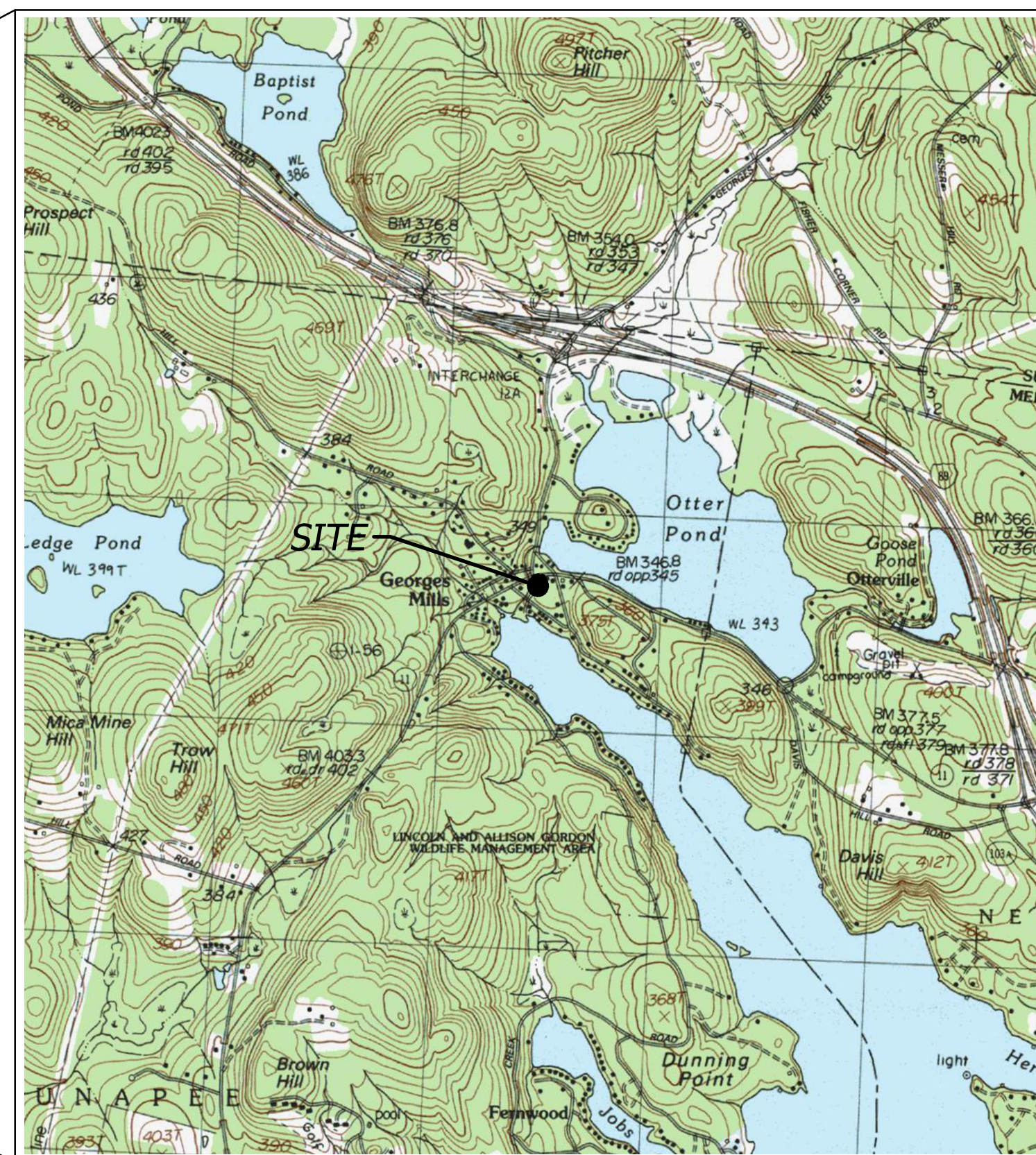
SUNAPEE, NEW HAMPSHIRE

MAY, 11 2023



SUNAPEE

NEW HAMPSHIRE



LOCATION PLAN

THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF SUNAPEE ARE A PART OF THIS PLAT AND APPROVAL OF THIS PLAT IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID LAND DEVELOPMENT REGULATIONS, EXCEPTING ONLY ANY ZONING VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I/WE, UROREALTY, LLC, CERTIFY THAT OUR ASSIGNS OR SUCCESSORS WILL SEEK APPROVAL BY THE PLANNING BOARD PRIOR TO MAKING ANY CHANGES TO THIS SITE PLAN.

APPROVED BY THE SUNAPEE, N.H. PLANNING BOARD

DATE _____

(CHAIR) _____

SHEET LIST:

- COVER SHEET
- C1.1 EXISTING CONDITIONS
- C1.2 DEMOLITION PLAN
- C2.1 SITE PLAN
- C3.1 EROSION DETAILS
- C3.2 MISCELLANEOUS DETAILS 1
- C3.3 MISCELLANEOUS DETAILS 2
- C3.4 ADS STORMTECH CHAMBER SYSTEM
- L1.0 LANDSCAPE SITE PLAN
- L1.1 LANDSCAPE PLANTING & SITE LIGHTING PLAN
- L1.2 PLANTING DETAILS
- L1.3 LIGHTING DETAILS ARCHITECTURAL SCHEMATICS

PERMIT NOTES

IT IS THE OWNERS RESPONSIBILITY TO INSURE ALL PERMITS ARE IN PLACE PRIOR TO CONSTRUCTION.

THIS PROJECT SHALL COMPLY WITH ALL CONDITIONS OF ALL PERMITS FOR THE PROJECT. COPIES OF THESE PERMITS MAY BE REQUESTED FROM THE HORIZONS ENGINEERING OFFICE IN SHARON, VT. PERMITS LISTED BELOW ARE REPRESENTATIVE OF PROJECT PERMITTING COLLECTED BY HORIZONS ENGINEERING. ALL REQUIRED PERMITS SHALL BE COLLECTED AND VERIFIED BY THE GENERAL CONTRACTOR.

STATE OF NEW HAMPSHIRE	
DEPARTMENT OF TRANSPORTATION DRIVEWAY PERMIT	PENDING
DEPARTMENT OF ENVIRONMENTAL SERVICES SHORELAND PERMIT	PENDING
TOWN OF SUNAPEE	
PLANNING BOARD SITE PLAN REVIEW	PENDING

OWNER:

GOODHUE SUNAPEE REAL PROPERTY, LLC
PO BOX 853
WOLFBORO, NEW HAMPSHIRE

ENGINEER AND SURVEYOR:



176 NEWPORT ROAD
SUITE 8
NEW LONDON, NH 03257
(603) 444-1343

LANDSCAPE ARCHITECT:

SITEFORM STUDIO
ATTN: TOM HAND, ASLA, PLA
PO BOX 1272
STOWE, VT 05672

ARCHITECT:

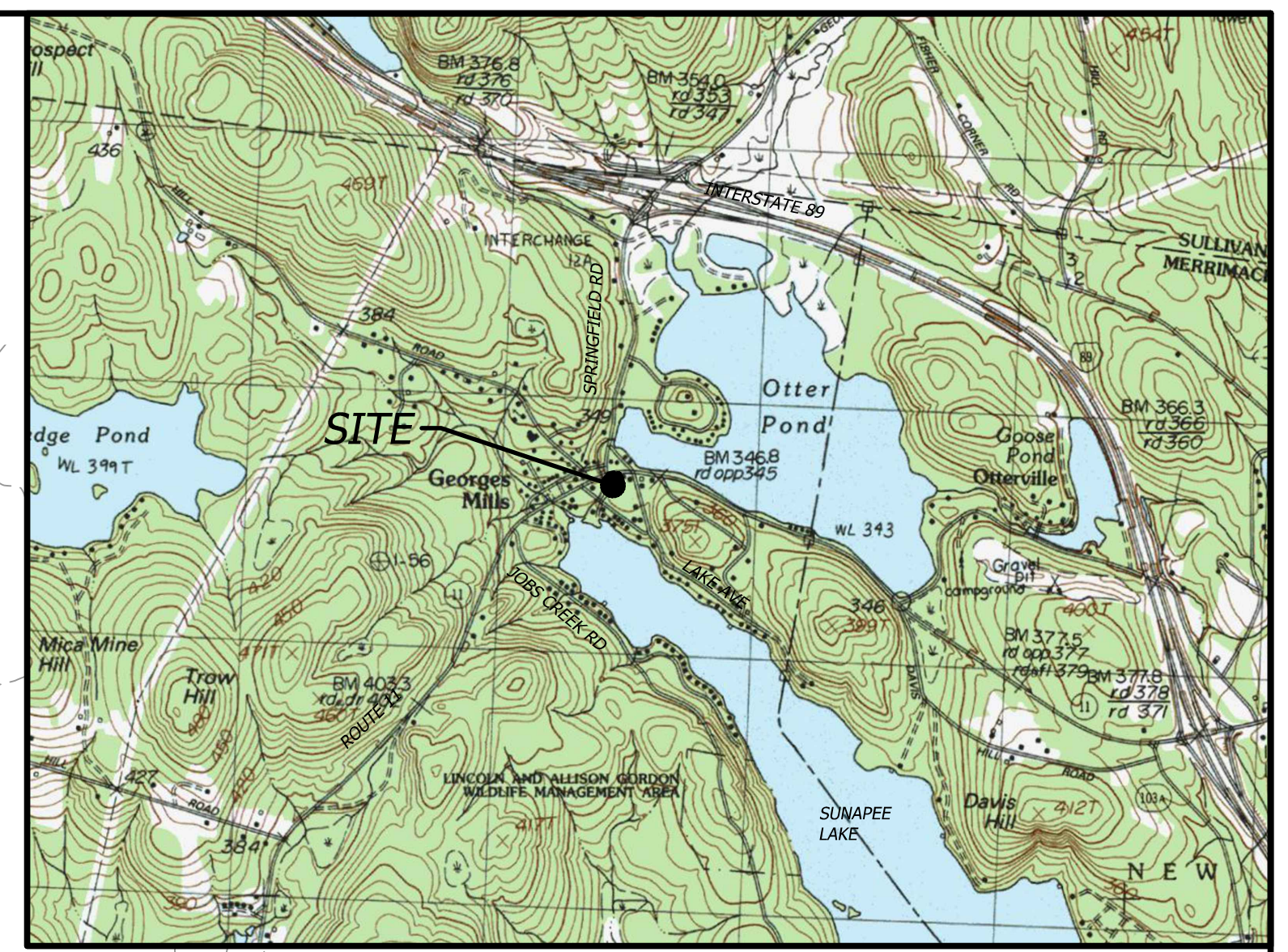
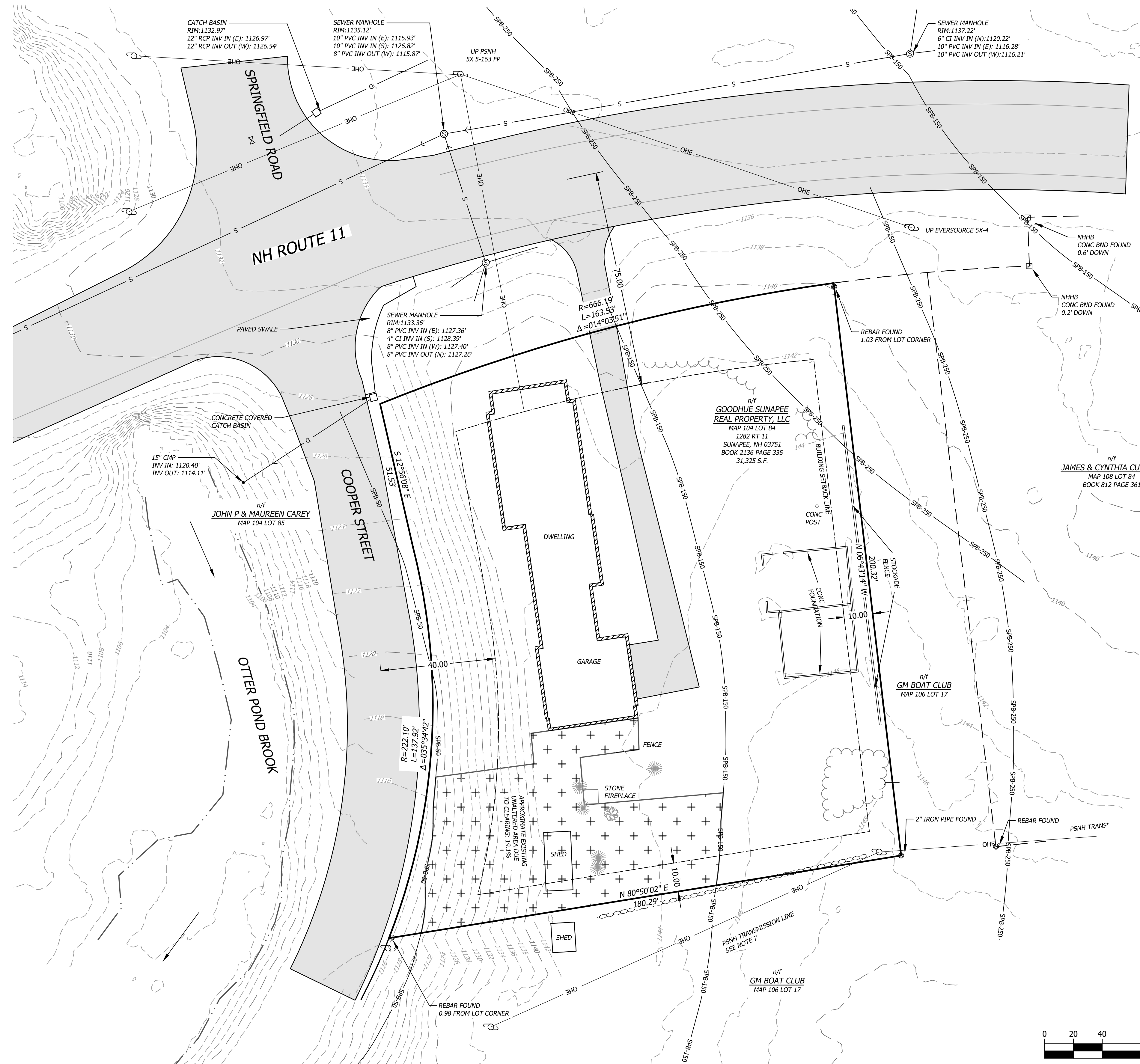
SAMYN - D'ELIA ARCHITECTS, P.A.
6 CENTRAL HOUSE ROAD
HOLDERNESS, NH 03245
(603) 968-7133

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DATE OF PRINT
MAY 11 2023
HORIZONS ENGINEERING

GENERAL NOTES

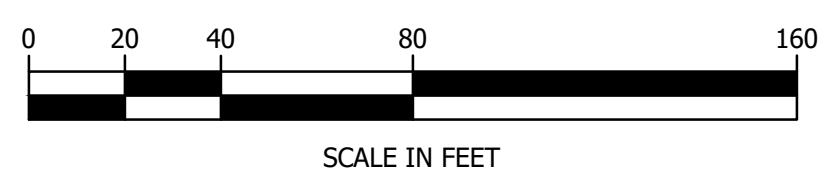
1. OWNER OF RECORD
 GOODHUE SUNAPEE REAL PROPERTY, LLC
 PO BOX 853
 WOLFBORO, NH 03894
2. DEED REFERENCES:
 A. "WARRANTY DEED FROM MICHAEL H. FOWLER AND JOAN M. FOWLER TO GOODHUE SUNAPEE REAL PROPERTY, LLC", DATED JANUARY 12, 2021. RECORDED JANUARY 12, 2021 AT THE SULLIVAN COUNTY REGISTRY OF DEEDS BOOK 2136 PAGE 335.
3. PLAN REFERENCE:
 A. "PLAN OF STANDARD PROPERTY SURVEY PREPARED FOR GEORGES MILLS BOAT CLUB", DATED NOVEMBER 16, 2018, PREPARED BY PENNYROYAL HILL LAND SURVEYING & FORESTRY, LLC AND RECORDED IN THE SULLIVAN COUNTY REGISTRY OF DEEDS AS PLAN #5248.
 B. "PLAN OF SUNAPEE FEDERAL AID PROJECT NO. F-241(4) ON FILE AT THE NHDOT. SHEET 11 OF 34.
4. THE BEARINGS SHOWN HEREON REFER TO THE NEW HAMPSHIRE COORDINATE SYSTEM, GRID NORTH. THE VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
5. THIS PLAN IS BASED ON FIELD SURVEYS COMPLETED IN SEPTEMBER OF 2019 WITH TOPCON HIPER V DUAL FREQUENCY SURVEY GRADE GNSS RECEIVERS AND A LEICA TS12 ROBOTIC TOTAL STATION AND JULY OF 2021 WITH A LEICA ROBOTIC TOTAL STATION.
6. THE PROPERTY BOUNDARIES FOR TAX MAP 104 LOT 84 WERE RETRACED USING THE DEEDS OF RECORD, REFERENCE PLANS AND EVIDENCE FOUND IN THE FIELD. ABUTTING PROPERTY LINES ARE APPROXIMATE PER THE TOWN OF SUNAPEE TAX MAPS AND PLAN REFERENCE "A".
7. STATUS AND WIDTH OF PSNH EASEMENT UNKNOWN. A DILIGENT SEARCH OF THE GRANTOR RECORDS FROM 1900 TO 2021 AT THE SULLIVAN COUNTY REGISTRY OF DEEDS RECOVERED NO RECORDS OF AN EASEMENT BEING GRANTED BY ANY OF THE PROPERTY OWNERS IN THE CHAIN OF TITLE FOR THIS TRANSMISSION LINE.
8. TAX MAP 104 LOT 84 IS SERVICED WITH MUNICIPAL SEWER AND WATER.
9. TAX MAP 104 LOT 84 IS IN THE VILLAGE COMMERCIAL DISTRICT (VC) AND THE SHORELINE OVERLAY DISTRICT.
 FRONT SETBACK 75' FROM ROUTE 11
 SIDE & REAR SETBACK 40' FROM ALL OTHER STREETS
 MAXIMUM LOT COVERAGE 60% IMPERVIOUS
 80% TOTAL
10. UNALTERED AREA SHOWN ON TAX MAP 104 LOT 84 IS BASED ON A SITE VISIT BY HORIZONS ENGINEERING ON SEPTEMBER 29, 2021 TO INSPECT TREE CLEARING LIMITS.



VICINITY MAP
1" = 2000'

LEGEND

- CONIFEROUS TREE
- DECIDUOUS TREE
- SEWER MANHOLE
- GUY WIRE
- UTILITY POLE
- IRON PIPE OR REBAR FOUND
- CALCULATED CORNER
- LIGHT POLE
- PROPERTY LINE
- APPROXIMATE PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- SHORELAND 50' BUFFER
- SHORELAND 150' BUFFER
- SHORELAND 250' BUFFER
- CONTOUR - MAJOR INTERVAL
- CONTOUR - MINOR INTERVAL
- PAVEMENT
- EXISTING UNALTERED AREA (TAX MAP 104 LOT 84)



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**GOODHUE SUNAPEE
REAL PROPERTY, LLC**
GRORGES MILLS SHOW ROOM
SUNAPEE, NEW HAMPSHIRE
TAX MAP 104, LOT 84

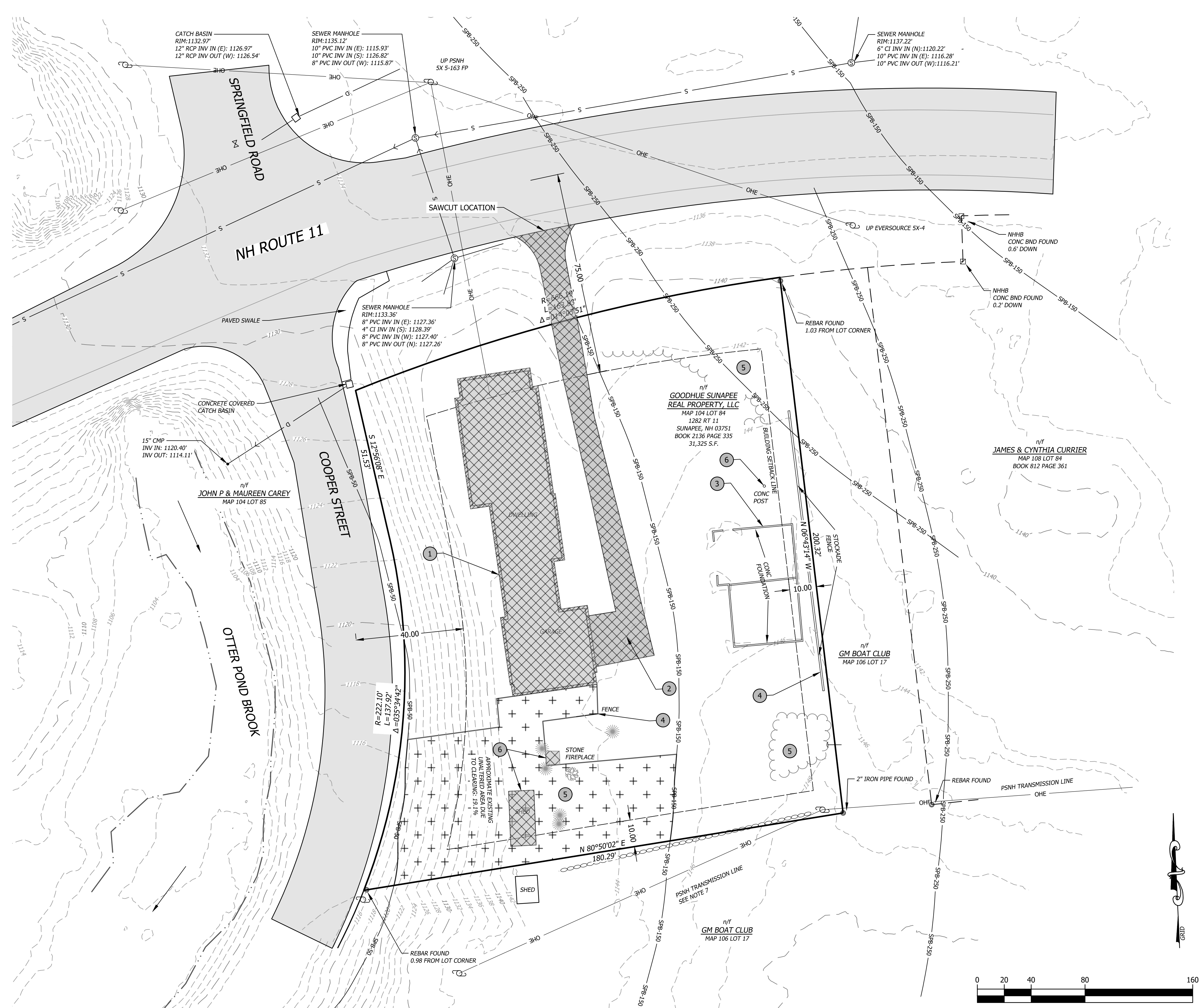
EXISTING CONDITIONS

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: FEB. 2023	PROJECT #: 21902
ENG'D BY: WTD	DRAWN BY: APH
CHECK'D BY: WTD	ARCHIVE #: H-___

SHEET C1.1

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DEMO NOTES

- 1 REMOVE EXISTING BUILDING AND FOUNDATIONS. DISPOSE OF OFF SITE.
- 2 REMOVE EXISTING ASPHALT AND DISPOSE OF OFF SITE. SAWCUT AS INDICATED ON THE PLANS. SEE PAVEMENT JOINING DETAIL.
- 3 REMOVE EXISTING CONCRETE AND DISPOSE OF OFF SITE.
- 4 REMOVE FENCE AND DISPOSE OF OFF SITE.
- 5 EXISTING TREES SHALL BE REMOVED AS NEEDED, INCLUDING ROOTS.
- 6 MISCELLANEOUS DEMOLITION

DEMO LEGEND



LEGEND

- CONIFEROUS TREE
- DECIDUOUS TREE
- SEWER MANHOLE
- GUY WIRE
- UTILITY POLE
- IRON PIPE OR REBAR FOUND
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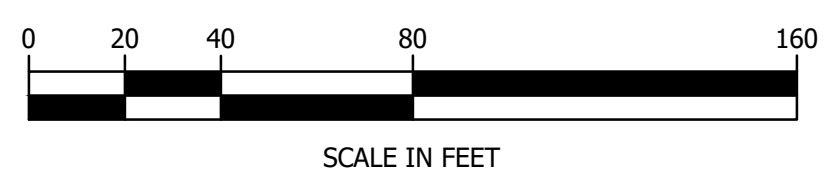
**GOODHUE SUNAPEE
REAL PROPERTY, LLC**
GRORGES MILLS SHOW ROOM
SUNAPEE, NEW HAMPSHIRE
TAX MAP 104, LOT 84

DEMOLITION

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE:	FEB. 2023	PROJECT #:	21902
ENG'D BY:	WTD	DRAWN BY:	APH
CHECK'D BY:	WTD	ARCHIVE #:	H---

SHEET C1.2



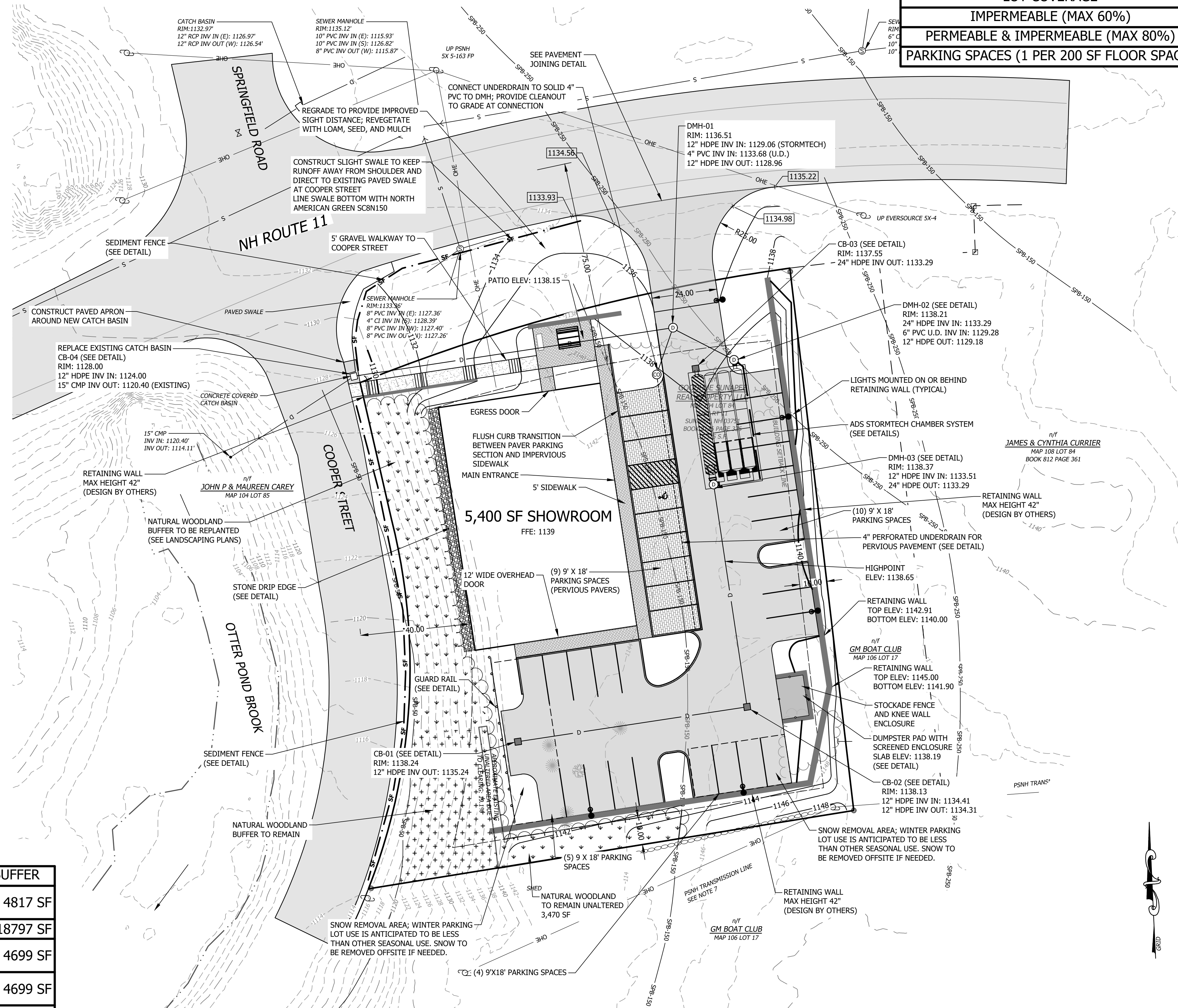
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SUNAPEE DIMENSIONAL CONTROLS		
MIN. ROAD SETBACK (R. 11)		75'
MIN. ROAD SETBACK (COOPER)		40'
SIDE AND REAR SETBACKS		10'
LOT COVERAGE	PRE-DEVELOPMENT	POST-DEVELOPMENT
IMPERMEABLE (MAX 60%)	21.7%	56.5%
PERMEABLE & IMPERMEABLE (MAX 80%)	21.7%	61.5%
PARKING SPACES (1 PER 200 SF FLOOR SPACE)	27 SPACES REQUIRED, 33 PROVIDED	



LEGEND

	CONIFEROUS TREE
	DECIDUOUS TREE
	SEWER MANHOLE
	GUY WIRE
	UTILITY POLE
	IRON PIPE OR REBAR FOUND
	CALCULATED CORNER
	LIGHT POLE
	PROPERTY LINE
	APPROXIMATE PROPERTY LINE
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	SHORELAND 50' BUFFER
	SHORELAND 150' BUFFER
	SHORELAND 250' BUFFER
	CONTOUR - MAJOR INTERVAL
	CONTOUR - MINOR INTERVAL
	PAVEMENT
	EXISTING UNALTERED AREA (TAX MAP 104 LOT 84)
	UNALTERED AREA TO BE REPLANTED
	IMPERVIOUS PAVERS
	PERVIOUS PAVERS

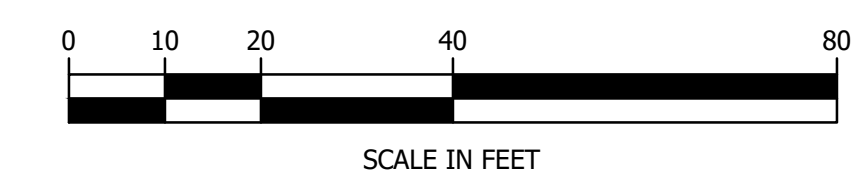
NHDES SHORELAND NATURAL WOODLAND BUFFER	
EXISTING NATURAL WOODLAND AREA 50' TO 150'	4817 SF
TOTAL AREA 50' TO 150'	18797 SF
25% OF TOTAL AREA 50' TO 150'	4699 SF
NATURAL WOODLAND AREA TO REMAIN	4699 SF
EXISTING NATURAL WOODLAND AREA	1601 SF
REPLANTED NATURAL WOODLAND AREA	3165 SF
TOTAL WOODLAND AREA 50' TO 150'	4766 SF

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 GRORGES MILLS SHOW ROOM
 SUNAPEE, NEW HAMPSHIRE
 TAX MAP 104, LOT 84

SITE PLAN

NO.	DATE	REVISION DESCRIPTION	ENG	DWG



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DATE:	PROJECT #:
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WTD	H---
SHEET C2.1	

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SEEDING RECOMMENDATIONS

- 1. GRADING AND SHAPING
A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED...

- 2. SEEDBED PREPARATION
A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING...

- 3. ESTABLISHING VEGETATION
A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL...

(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10).

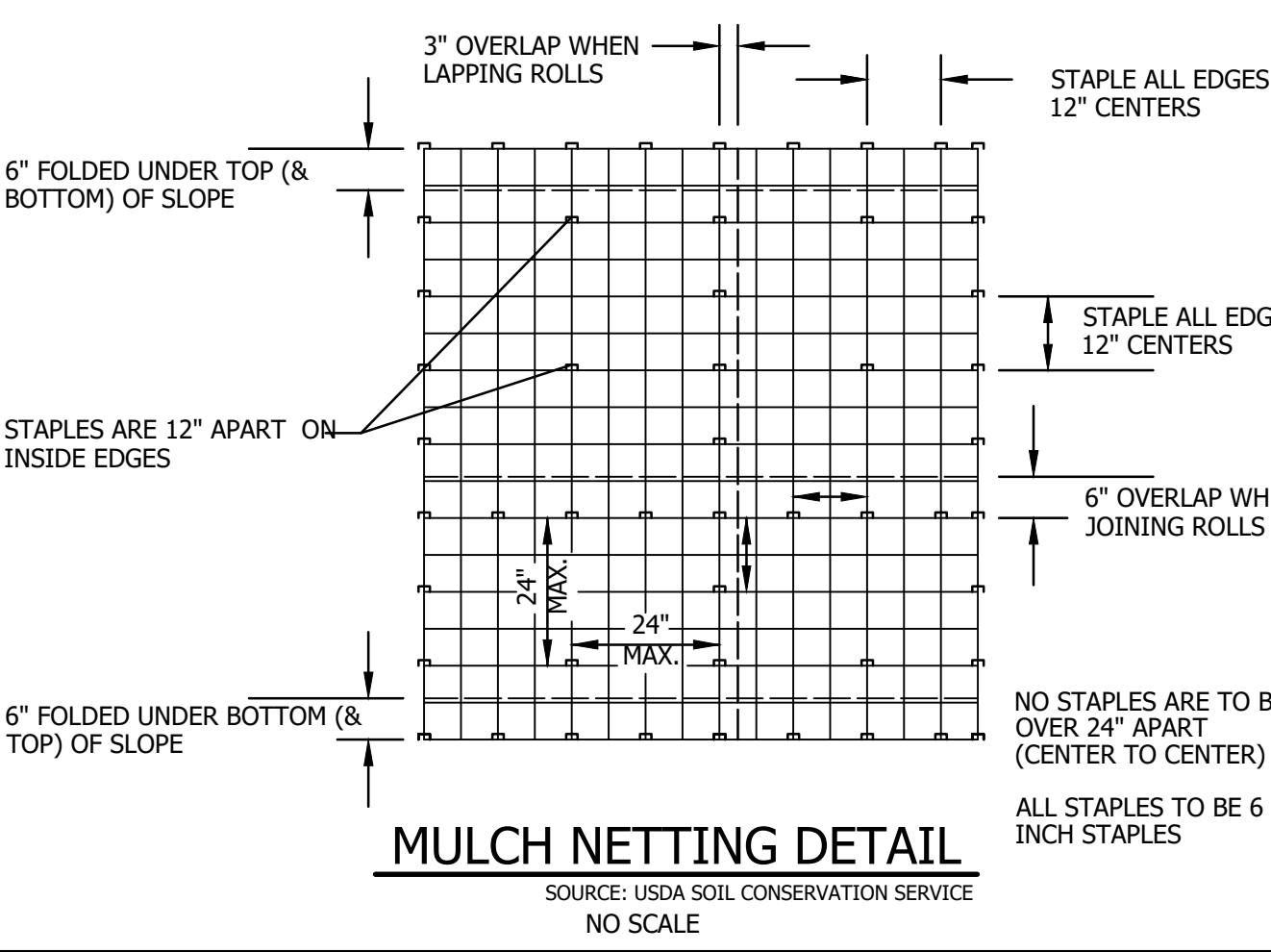
Table with columns: USE, SEEDING MIXTURE (SEE 3D), SOIL TYPE (DROUGHTY, WELL DRAINED, MOD. WELL DRAINED, POORLY DRAINED)

Table with columns: MIXTURE, POUNDS PER ACRE, POUNDS PER 1,000 SQ. FT.

E. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO SEPTEMBER 15.

Table with columns: SPECIES, POUNDS PER ACRE, POUNDS PER 1,000 SQ. FT., REMARKS

- 4. MULCH
A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES...



EROSION CONTROL GENERAL NOTES

- A. KEEP SITE MODIFICATION TO A MINIMUM
1. CONSIDER FITTING THE BUILDINGS AND STREETS TO THE NATURAL TOPOGRAPHY. THIS REDUCES THE NEED FOR CUTS AND FILLS...

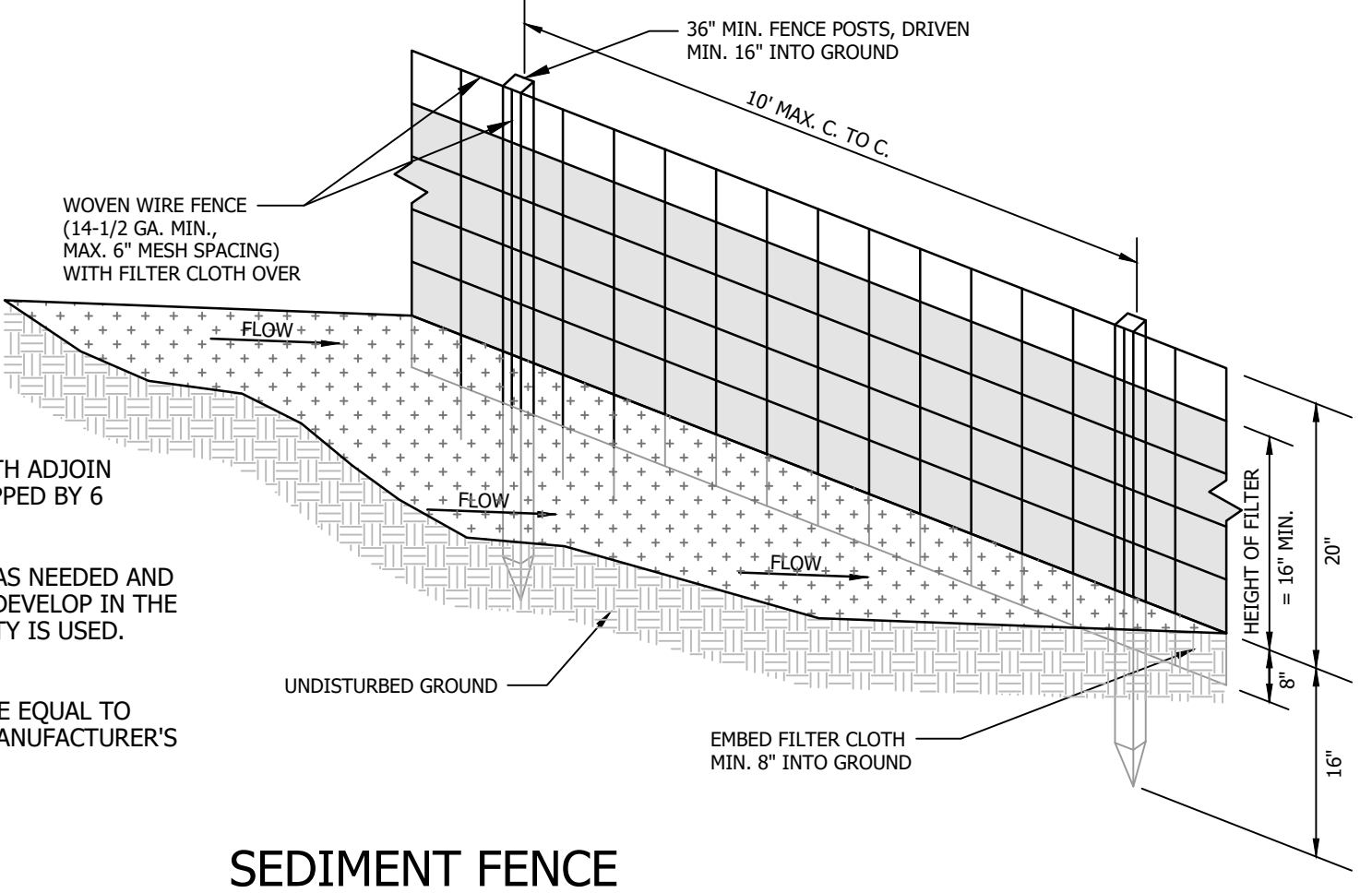
- B. MINIMIZE POLLUTION OF WATER DURING CONSTRUCTION ACTIVITIES
1. STOCKPILE TOPSOIL REMOVED FROM CONSTRUCTION AREA AND SPREAD OVER ANY DISTURBED AREAS PRIOR TO REVEGETATION...

- C. PROTECT AREA AFTER CONSTRUCTION
1. ESTABLISH GRASS OR OTHER SUITABLE VEGETATION ON ALL DISTURBED AREAS. SELECT SPECIES ADAPTED TO THE SITE CONDITIONS...

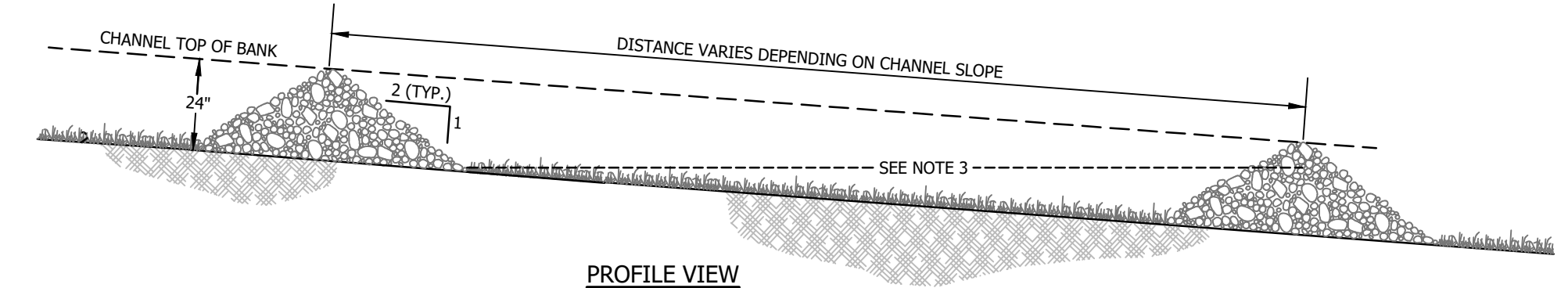
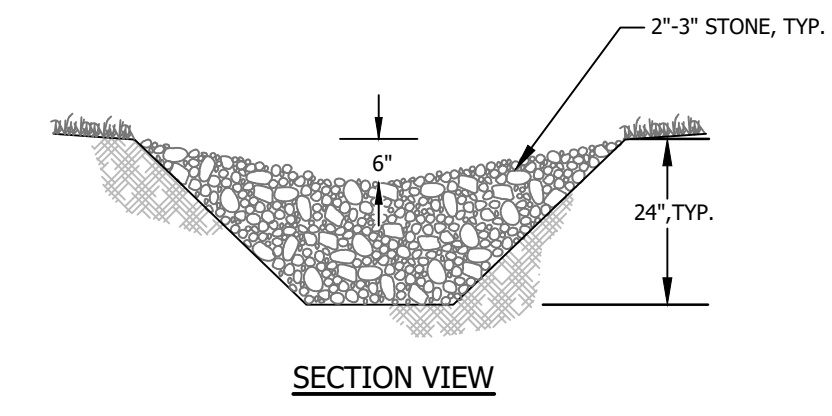
- D. INVASIVE SPECIES AND FUGITIVE DUST
1. THE PROJECT SHALL NOT CONTRIBUTE TO THE SPREAD OF INVASIVE SPECIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EVALUATE WORK AREAS...

CONSTRUCTION NOTES FOR SEDIMENT FENCE

- 1. WOVEN WIRE FENCE, IF REQUIRED, TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.



SEDIMENT FENCE



ROCK CHECK DAM DETAIL

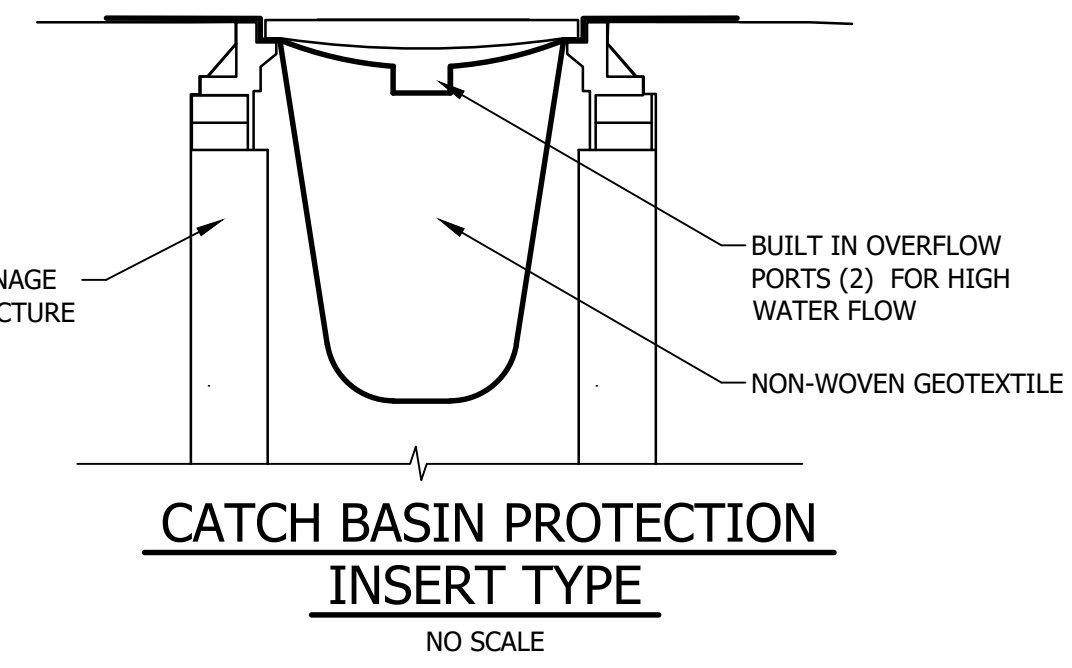
NOTES

- 1. CONSTRUCT ROCK CHECK DAMS WHERE INDICATED ON THE PLANS OR AS NECESSARY.
2. CONSTRUCT SPILLWAY IN CENTER OF ROCK CHECK DAM 6" BELOW TOP OF CHANNEL.

COLD WEATHER SITE STABILIZATION REQUIREMENTS

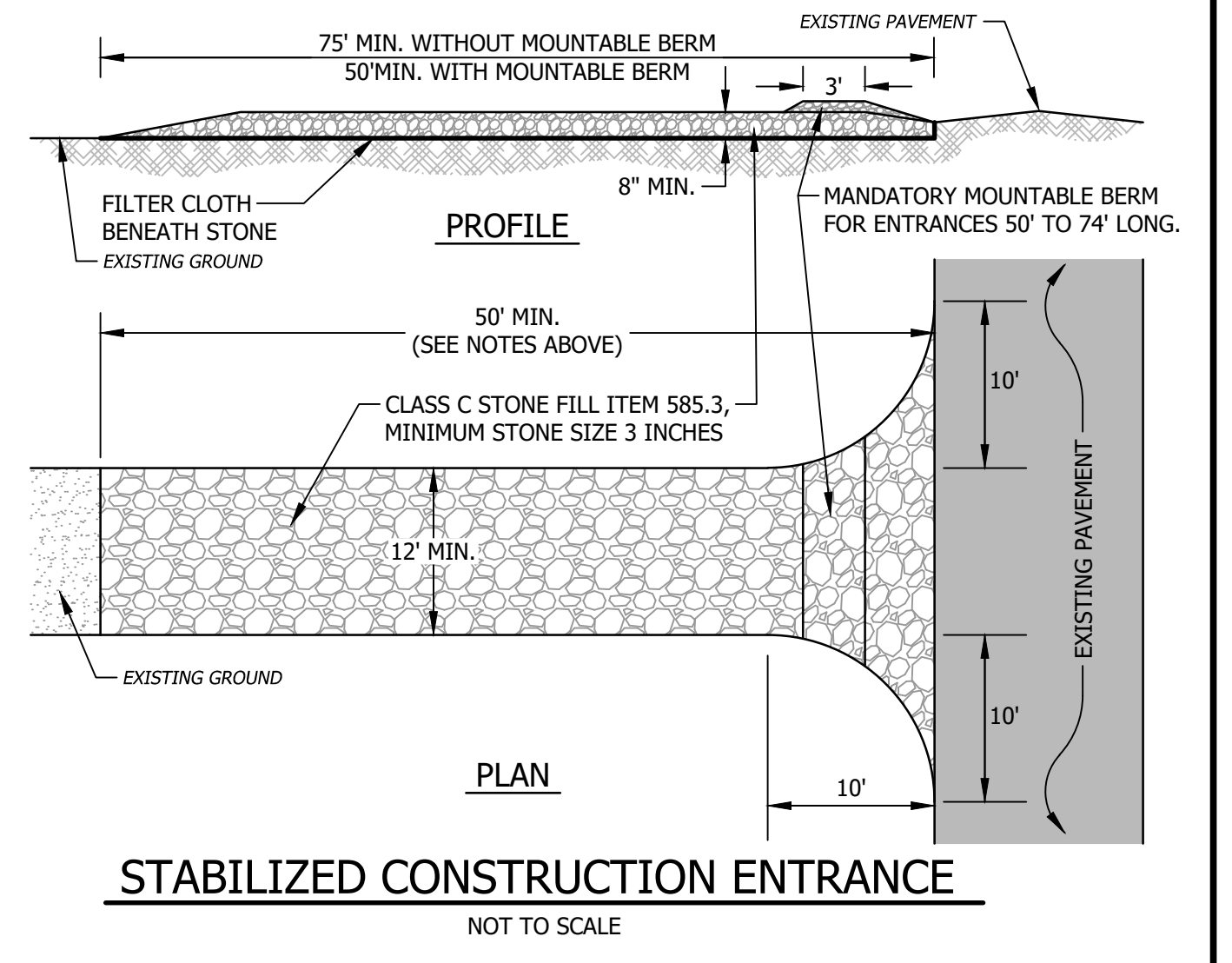
TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING ADDITIONAL STABILIZATION TECHNIQUES SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1:

- 1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO 1 ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT.
2. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15...



CONSTRUCTION SEQUENCE

- 1. PREPARE AN EROSION CONTROL PLAN OR A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. INSTALL CONSTRUCTION ENTRANCE, SEE DETAIL.
3. CUT AND CLEAR TREES WITHIN THE CLEARING LIMITS.



horizons Engineering logo and contact information: Civil and Structural Engineering, Land Surveying and Environmental Consulting.

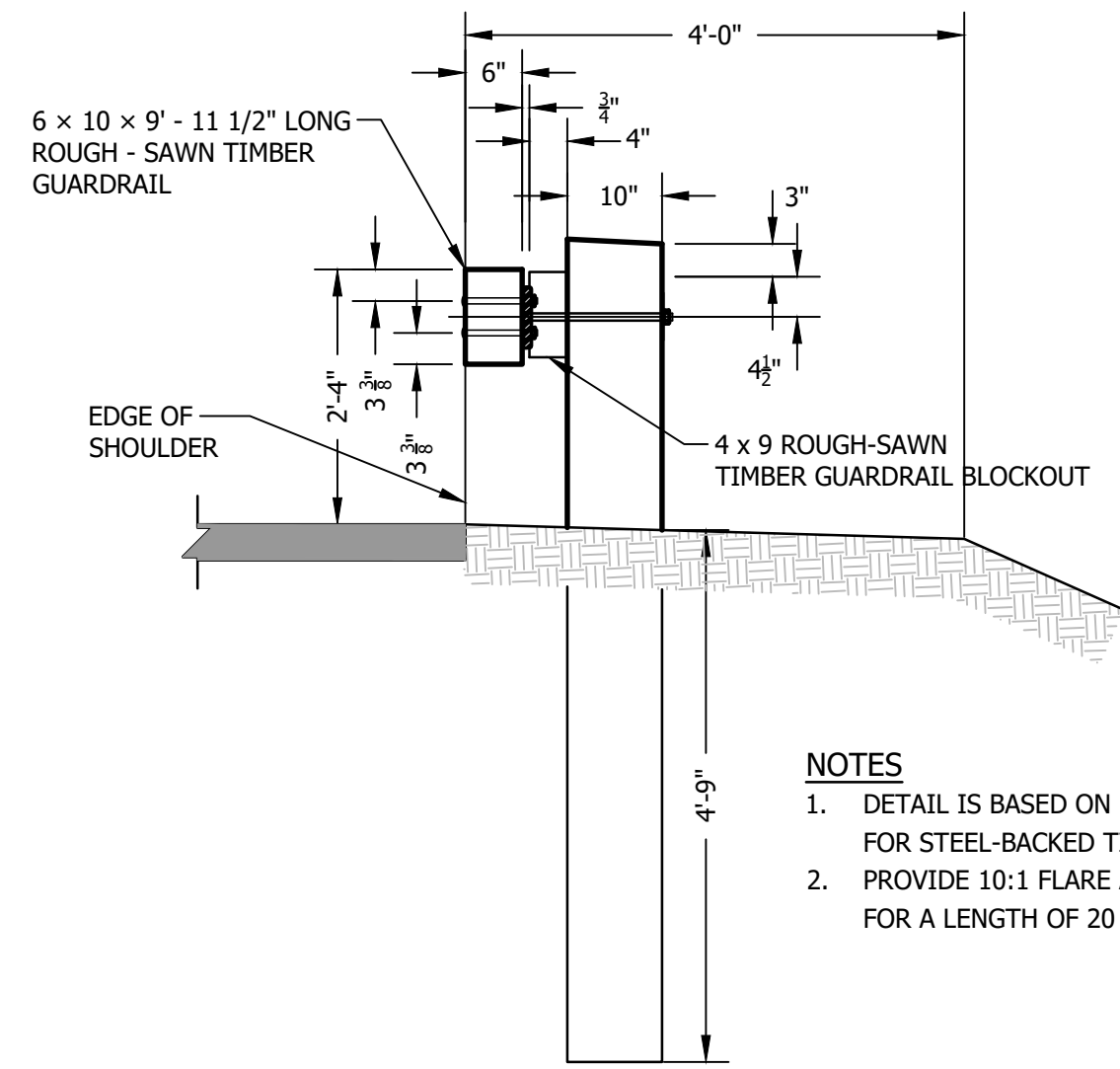
GOODHUE SUNAPEE REAL PROPERTY, LLC
GRORGES MILLS SHOW ROOM
SUNAPEE, NEW HAMPSHIRE
TAX MAP 104, LOT 84
EROSION CONTROL NOTES AND DETAILS

Table with columns: NO., DATE, REVISION DESCRIPTION, ENG, DWG. Includes project details like DATE: NOV. 2022, PROJECT #: 21902.

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DATE OF PRINT MAY 11 2023
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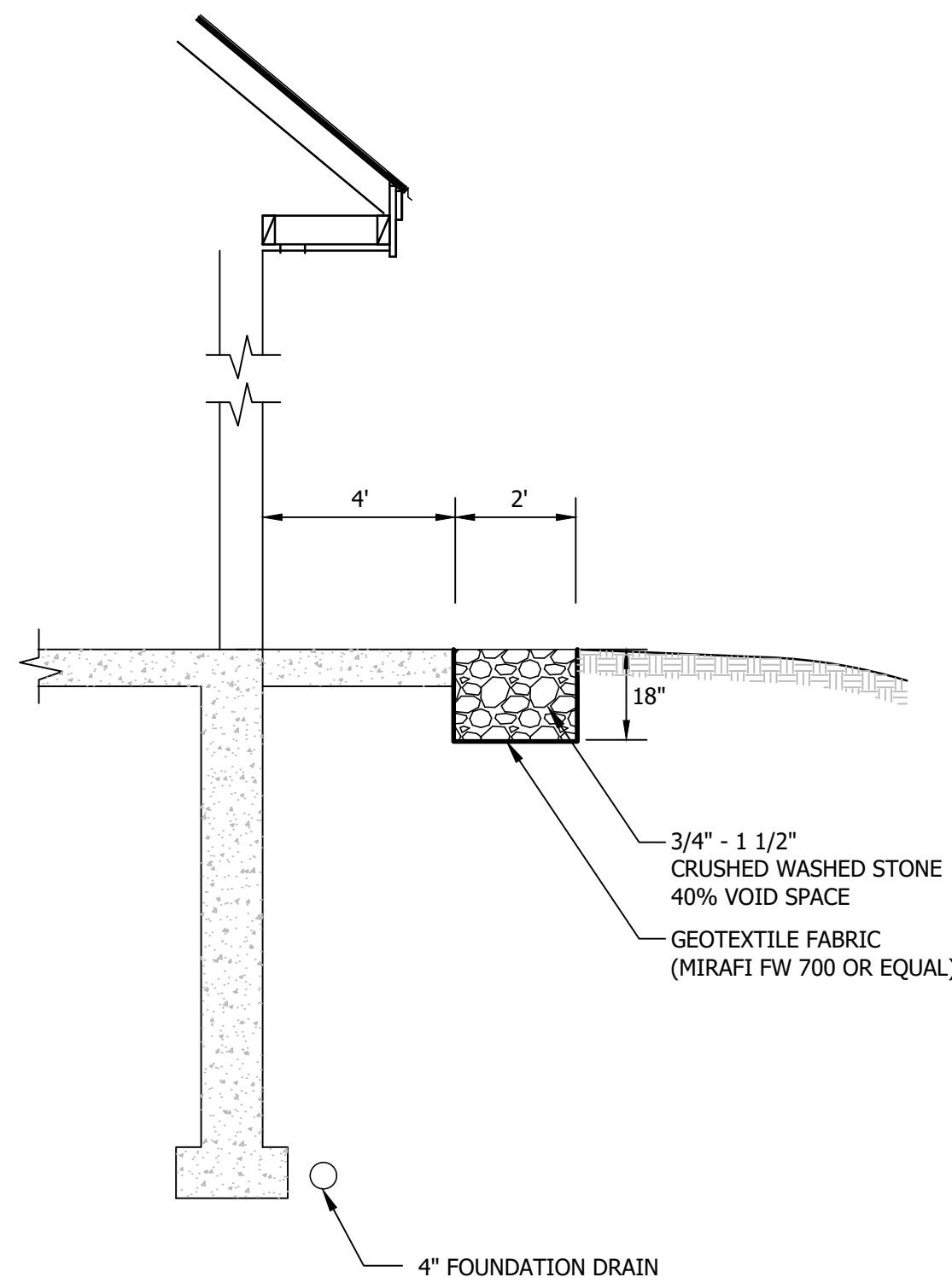
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STEEL BACKED TIMBER GUARDRAIL
NOT TO SCALE

NOTES

1. DETAIL IS BASED ON US DOT STANDARD 617-60 FOR STEEL-BACKED TIMBER GUARDRAIL TYPE A.
2. PROVIDE 10:1 FLARE AT EACH TERMINAL END FOR A LENGTH OF 20 FEET.



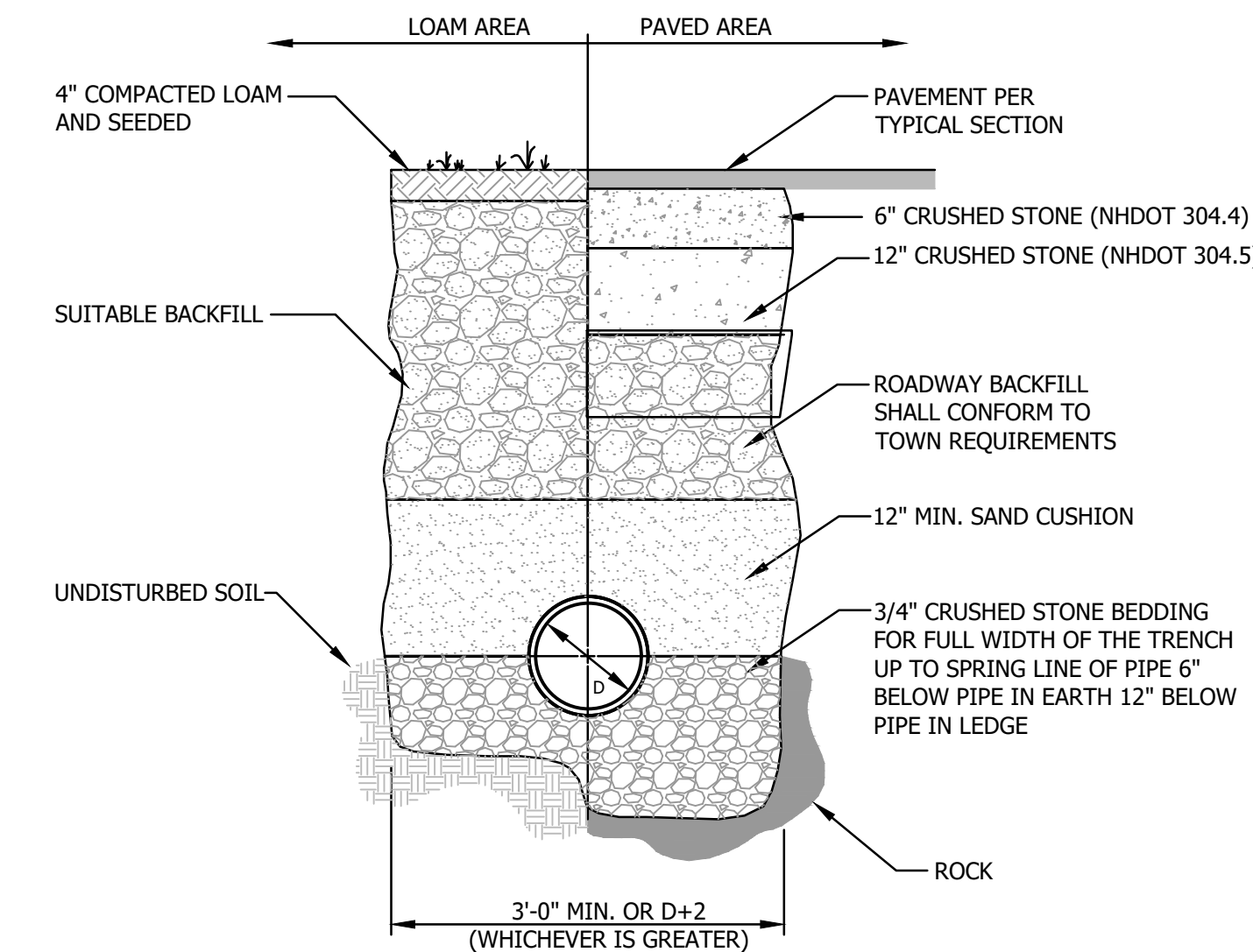
STONE DRIP EDGE DETAIL
NOT TO SCALE

STANDARD TRENCH NOTES:

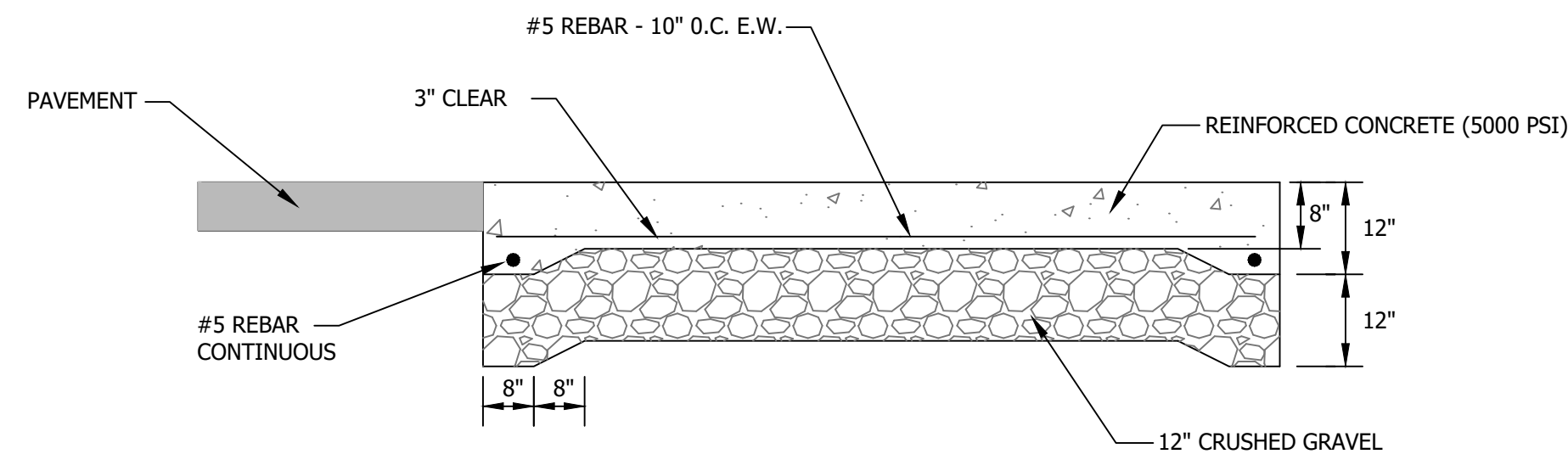
1. **ORDERED EXCAVATION OF UNSUITABLE MATERIAL** BELOW GRADE SHALL BE REPLACED WITH BEDDING MATERIAL. SEE ALSO NOTE 4.
2. **BEDDING:** SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90-100% PASSING	3/4 INCH SCREEN
20-55% PASSING	3/8 INCH SCREEN
0-10% PASSING	#4 SIEVE
0-5% PASSING	#8 SIEVE
3. **SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PASSES A #200 SIEVE.
4. **SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED FROM THE TRENCH DURING THE COURSE OF CONSTRUCTION, AFTER EXCLUDING DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL NOT APPROVED BY THE ENGINEER.

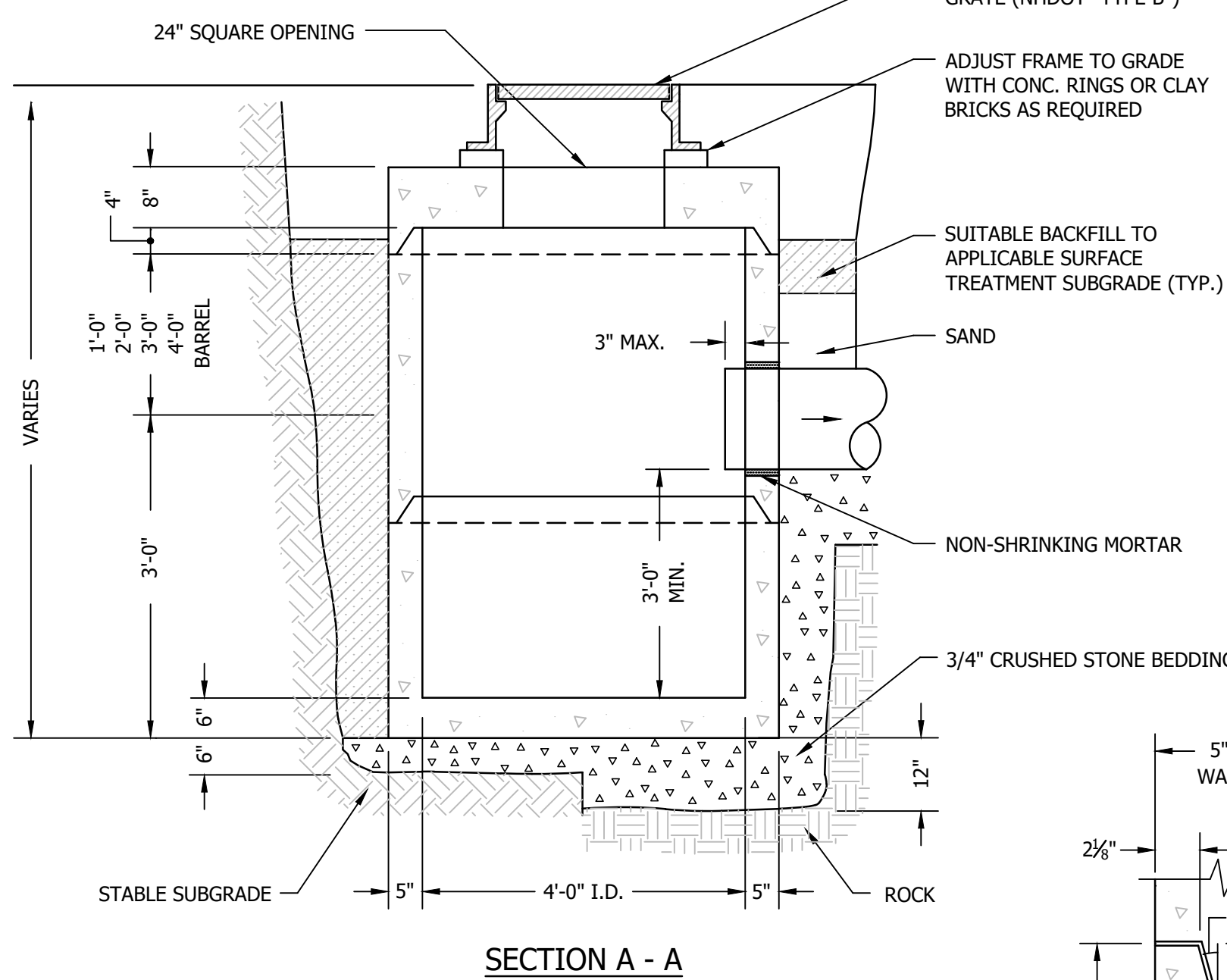
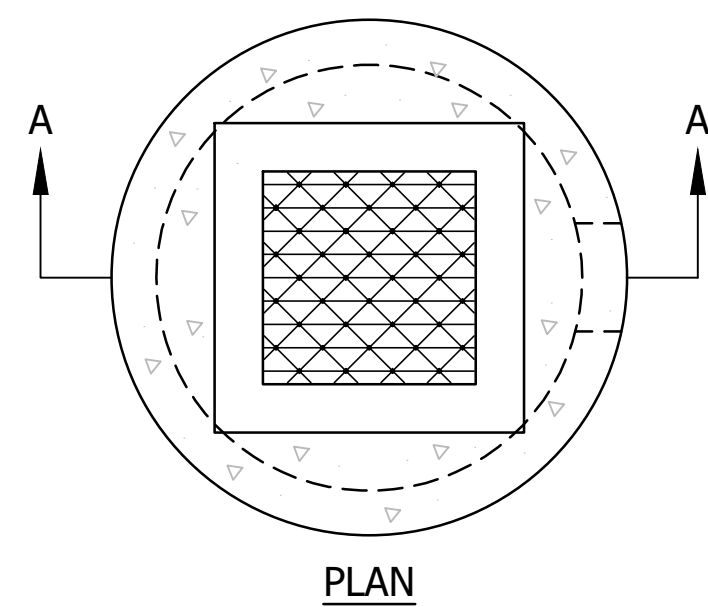
TRENCH BACKFILL IN CROSS-COUNTRY LOCATIONS SHALL BE SUITABLE MATERIAL AS DESCRIBED ABOVE, EXCEPT THAT TOP SOIL, LOAM, MUCK, OR PEAT MAY BE USED PROVIDED THAT THE COMPLETED CONSTRUCTION WILL BE STABLE AND ACCESS TO THE PIPE FOR MAINTENANCE AND RECONSTRUCTION IS PRESERVED. BACKFILL SHALL BE MOUND TO A HEIGHT OF SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. **BASE COURSE FOR TRENCH REPAIR** SHALL MEET THE REQUIREMENTS OF SECTION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
6. **SHEETING:** ALL TRENCH SUPPORTS SHALL CONFORM TO OSHA STANDARDS. CONTRACTOR IS RESPONSIBLE FOR OSHA COMPLIANCE AND WORKER SAFETY THROUGHOUT CONSTRUCTION.
7. **TRENCH DIMENSIONS:** W = MAXIMUM ALLOWABLE TRENCH WIDTH MEASURED 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER (D) OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS THE PIPE OUTSIDE DIAMETER. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. THE MAXIMUM ALLOWABLE TRENCH PAVEMENT PAYMENT WIDTH SHALL BE 8 FEET CENTERED OVER PIPE.
8. **WATER/SEWER SEPARATION:** WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER BY A MINIMUM OF 10 FEET HORIZONTALLY AND A MINIMUM OF 18 INCHES VERTICALLY, WITH THE WATER MAIN ABOVE THE SEWER.
9. **PIPE COVER:** COVER OVER WATER SHALL BE 6 FEET MINIMUM IN ALL LOCATIONS.



TYPICAL DRAINAGE TRENCH DETAIL
NOT TO SCALE



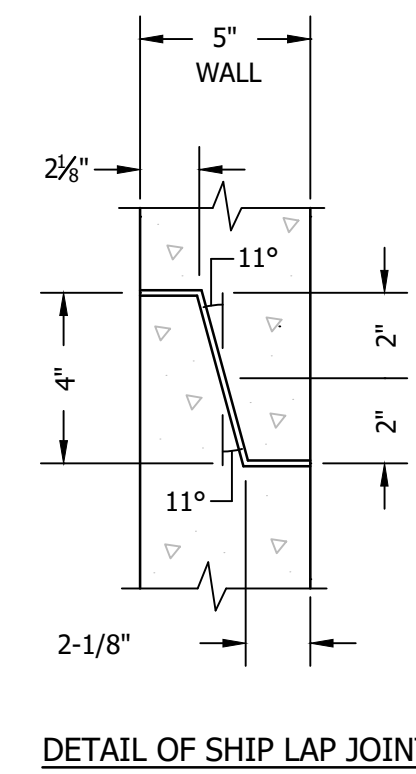
DUMPSTER PAD DETAIL
NOT TO SCALE



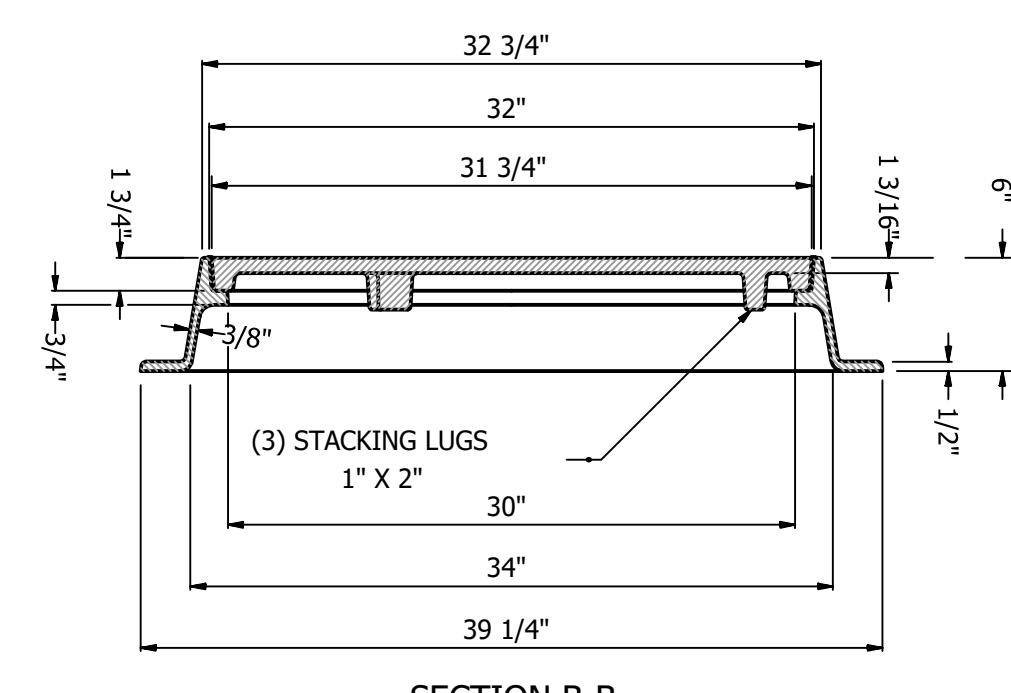
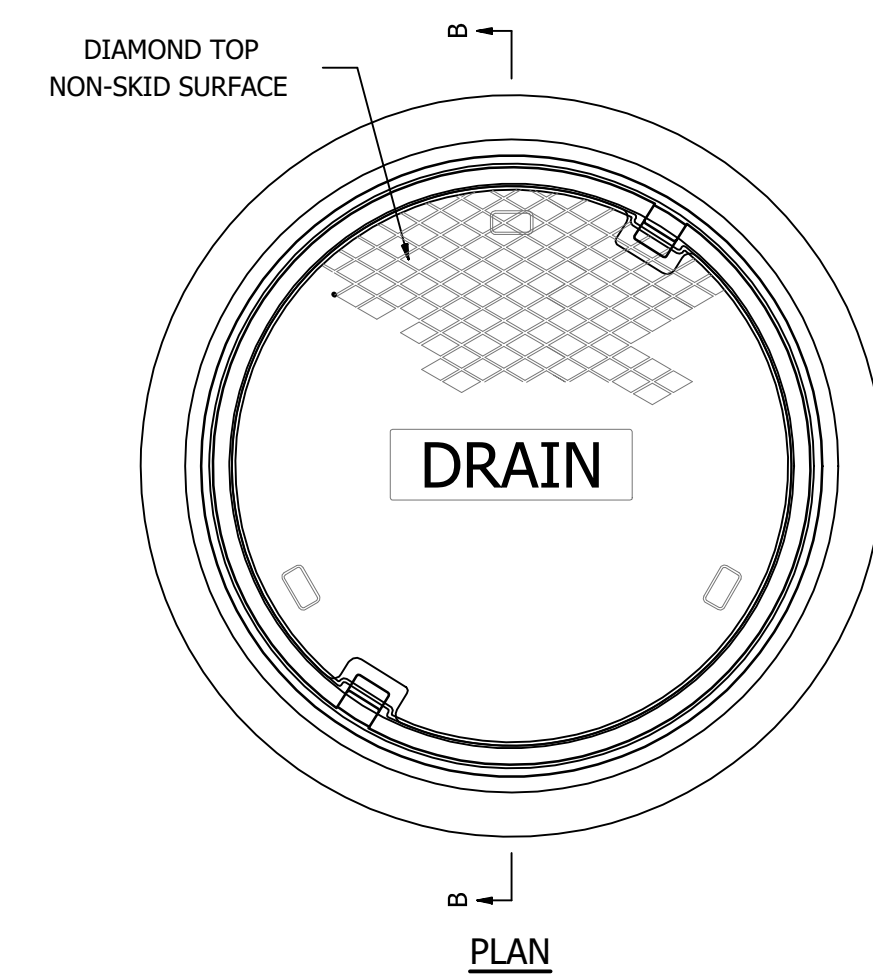
NOTES:

1. CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
2. REINFORCING H-20 LOADING 4 x 4/4 x 4 W.W.M.
3. SHIP LAP JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT. AND SHALL BE SEALED WITH 1 STRIP OF 1" DIA. BUTYL RUBBER SEALANT.
4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.

TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



DETAIL OF SHIP LAP JOINT



NOTES

1. ALL DIMENSIONS ARE NOMINAL
2. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER

DRAIN MANHOLE FRAME AND GRATE

NOT TO SCALE

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DATE OF PRINT
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GOODHUE SUNAPEE REAL PROPERTY, LLC
GRORGES MILLS SHOW ROOM
SUNAPEE, NEW HAMPSHIRE
TAX MAP 104, LOT 84

MISCELLANEOUS DETAILS 1

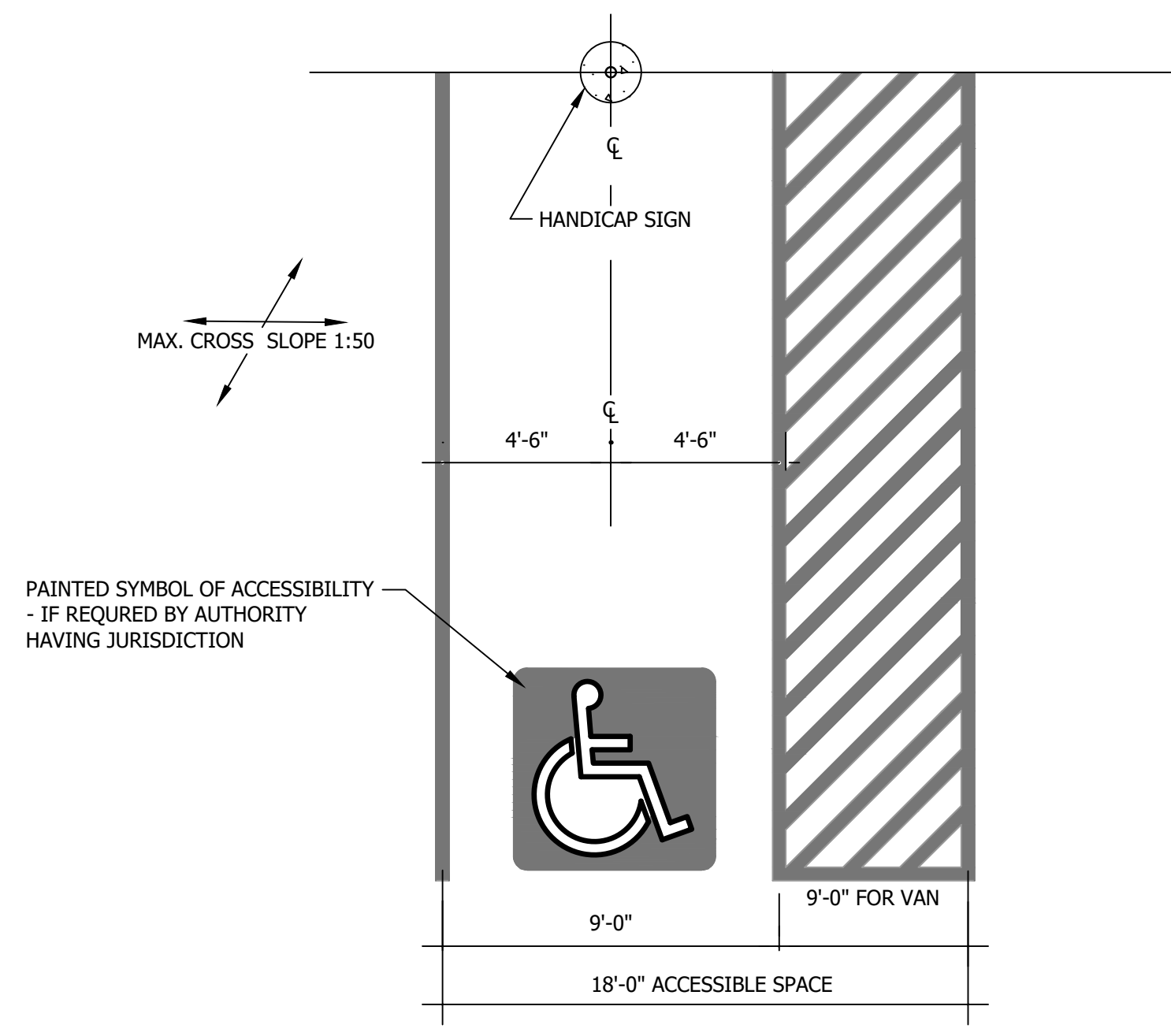
NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE:	PROJECT #:
MAY 2023	21902
ENG'D BY:	DRAWN BY:
WTD	APH
CHECK'D BY:	ARCHIVE #:
WTD	H-___

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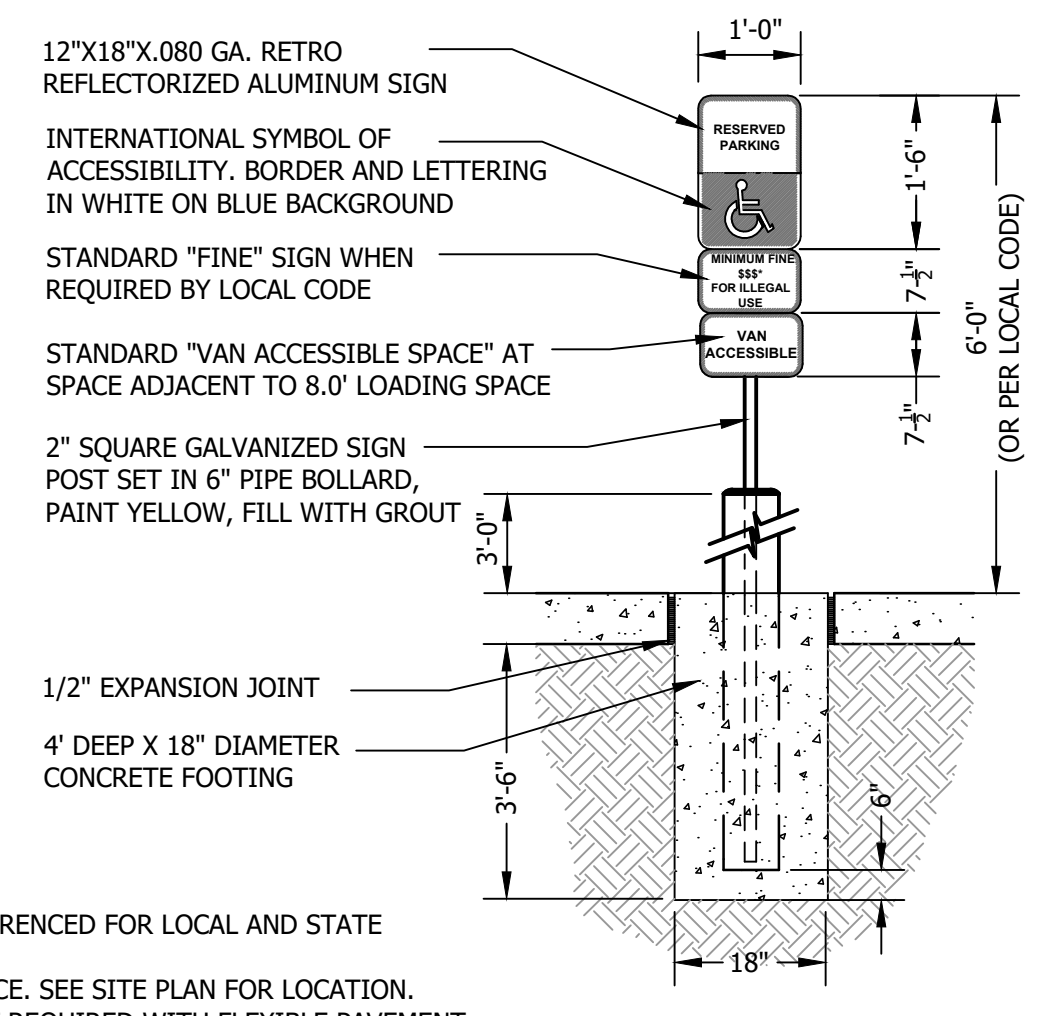
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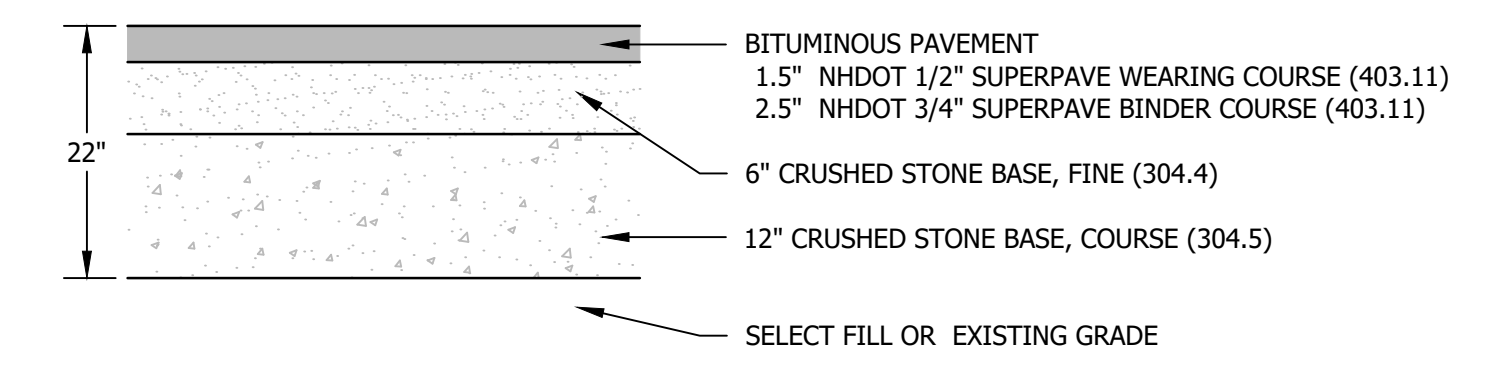
HANDICAP PARKING DETAIL
NOT TO SCALE

*INCLUDE ON ALL ACCESSIBLE SIGN POLES A SIGN INDICATING MINIMUM FINE OF \$(FINE) FOR ILLEGAL PARKING. REFER TO LOCAL CODES FOR FINE AMOUNT.

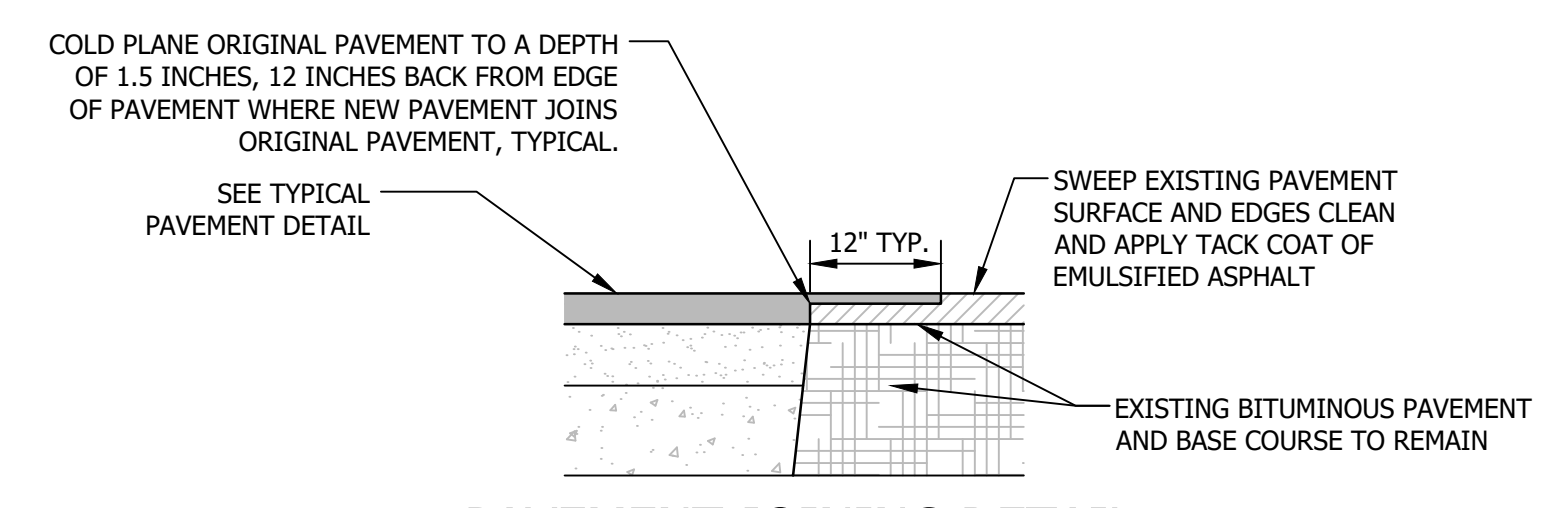
- NOTES:**
- SPECIFIC CODE SHOULD BE REFERENCED FOR LOCAL AND STATE REQUIREMENTS.
 - (1) SIGN AT EACH HANDICAP SPACE. SEE SITE PLAN FOR LOCATION.
 - EXPANSION JOINT MATERIAL NOT REQUIRED WITH FLEXIBLE PAVEMENT.



HANDICAP PARKING SIGN
NOT TO SCALE



TYPICAL PAVEMENT SECTION
NOT TO SCALE



PAVEMENT JOINING DETAIL
NOT TO SCALE

**PERVIOUS PAVERS
REQUIRED MAINTENANCE NOTES**

INSPECTION FREQUENCY

- PERVIOUS PAVERS SHALL BE REGULARLY MAINTAINED BY THE OWNER. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY (PREFERABLY AFTER A STORM EVENT), DOCUMENTING THE GENERAL APPEARANCE WITH PHOTOGRAPHS AND/OR NOTES. MAINTENANCE OR REHABILITATION SHOULD BE CONDUCTED AS WARRANTED BY SUCH INSPECTION. TAKE NOTE OF ANY PERVIOUS PAVEMENT MANUFACTURE SPECIFIC GUIDANCE CONTAINED IN THE PRODUCT INFORMATION.

MAINTENANCE REQUIREMENTS:

ROUTINE MAINTENANCE

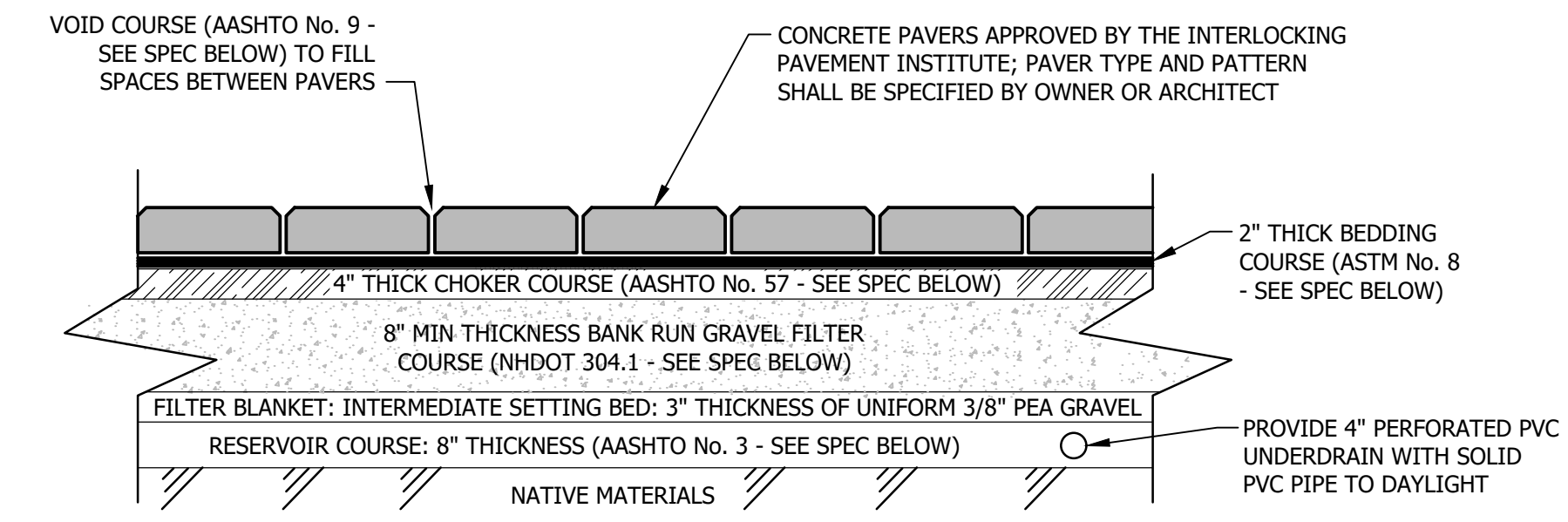
- INSPECT, AND IF NECESSARY, CLEAN THE SURFACE UTILIZING REGENERATIVE AIR EQUIPMENT TO REMOVE DEBRIS AND SEDIMENT IN THE SPRING & LATE FALL.
- REPAIR/REPLANT VEGETATIVE COVER FOR AREAS UP SLOPE AND SURROUNDING THE PERVIOUS PAVEMENT AREA.
- REPLENISH AGGREGATE IN JOINTS IF DEPTH TO VOID COURSE AGGREGATE EXCEEDS 1/2" FROM FINISHED PAVEMENT SURFACE.
- REPAIR DAMAGED, CRACKED, AND MISS ALIGNED PAVERS TO ENSURE FREE DRAINING STRUCTURE.

REMEDIAL MAINTENANCE

- IF PERVIOUS PAVEMENT SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THE A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO VACUUMING THE SURFACE TO REMOVE SEDIMENT JAMMED INTO JOINTS AND SOILED AGGREGATE. FOLLOWING VACUUMING, A CLEAN AGGREGATE VOID COURSE SHOULD BE INSTALLED.

WINTER MAINTENANCE

- AVOID THE USE OF WINTER SAND FOR TRACTION; IF USED, REMOVE WITH REGENERATIVE AIR CLEANING EQUIPMENT IN THE SPRING (REGENERATIVE EQUIPMENT SHOULD NOT EVACUATE VOID COURSE AGGREGATE MATERIAL)
- REMOVE SNOW WITH STANDARD PLOW/SNOW BLOWING EQUIPMENT WITH SNOW STORAGE AREAS OUTSIDE OF THE PERVIOUS PAVEMENT STRUCTURE
- ANTI-ICING MATERIALS SUCH AS SODIUM CHLORIDE AND CALCIUM CHLORIDE CAN BE APPLIED BUT USED SPARINGLY AS TO PROTECT WATER QUALITY.



U.S. STANDARD SIEVE SIZE	PERCENT PASSING (%)					
	VOID COURSE (ASTM No. 9)	BEDDING COURSE (ASTM No. 8)	CHOKER COURSE (AASHTO No. 57)	FILTER COURSE (NHDOT 304.1)	RESERVOIR COURSE (AASHTO No. 3)	RESERVOIR COURSE ALT.* (AASHTO No. 5)
6" (150mm)	-	-	-	100	-	-
2 1/2" (63mm)	-	-	-	-	100	-
2" (50mm)	-	-	-	-	90-100	-
1 1/2" (37.5mm)	-	-	-	-	35-70	100
1" (25mm)	-	-	95-100	-	0-15	90-100
3/4" (19mm)	-	-	-	-	-	20-55
1/2" (12.5mm)	-	100	-	-	0-5	0-10
3/8" (9.5mm)	85 TO 100	85 TO 100	25-60	-	-	0-5
#4 (4.75mm)	10 TO 40	10 TO 30	0-10	75-100	-	-
#8 (2.36mm)	0 TO 10	0 TO 10	0-5	0-12	-	-
#16 (1.18mm)	0 TO 5	-	-	-	-	-
#50 (0.30mm)	0 TO 5	-	-	-	-	-

*ALTERNATE GRADATION (e.g. AASHTO No. 5) FOR RESERVOIR COURSE MAY BE ACCEPTED WITH ENGINEER'S APPROVAL.

NOTE:

THE CONTRACTOR AND OWNER ARE ADVISED TO REFERENCE THE "UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS" FOR CONSTRUCTION AND MAINTENANCE OF THE PAVEMENT SECTION.

TYPICAL SECTION - PERVIOUS PAVERS
NOT TO SCALE

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SUNAPEE, NEW HAMPSHIRE
TAX MAP 104, LOT 84

MISCELLANEOUS DETAILS 2

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

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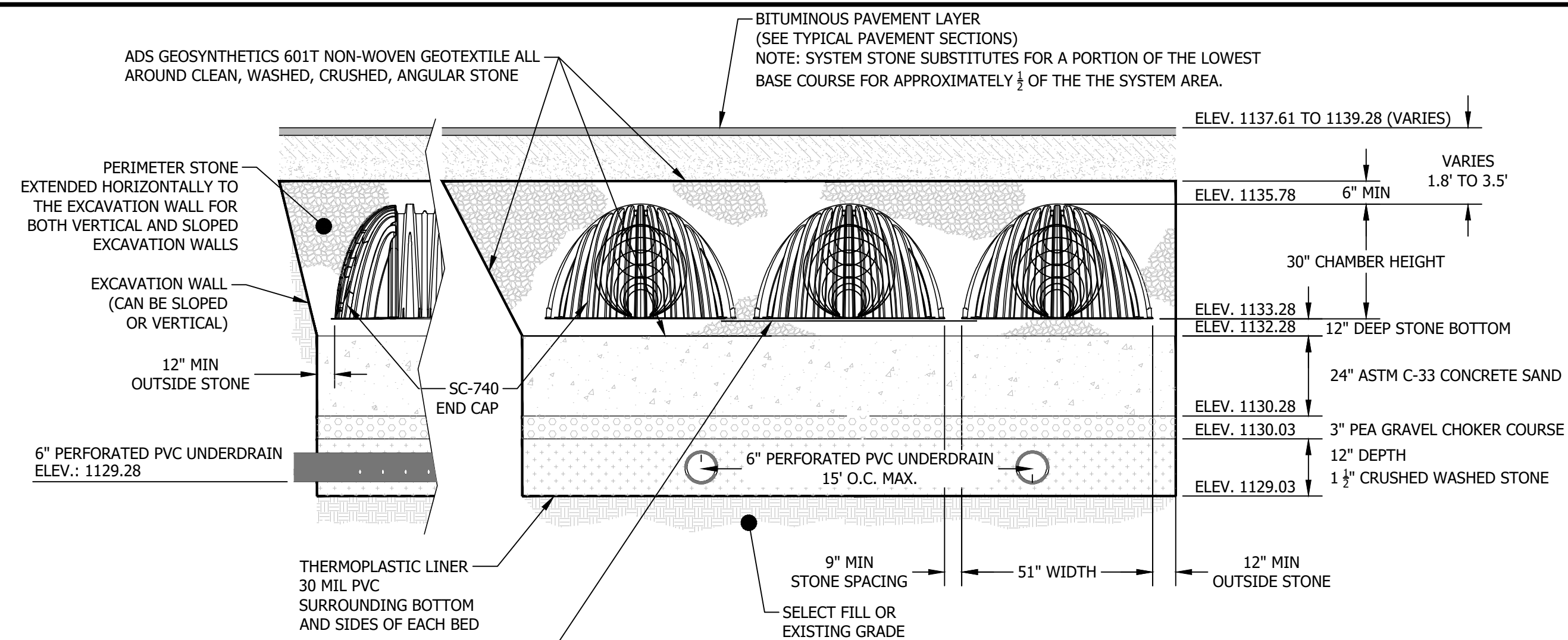
DATE OF PRINT
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PROJECT #:
21902
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APH
ARCHIVE #:
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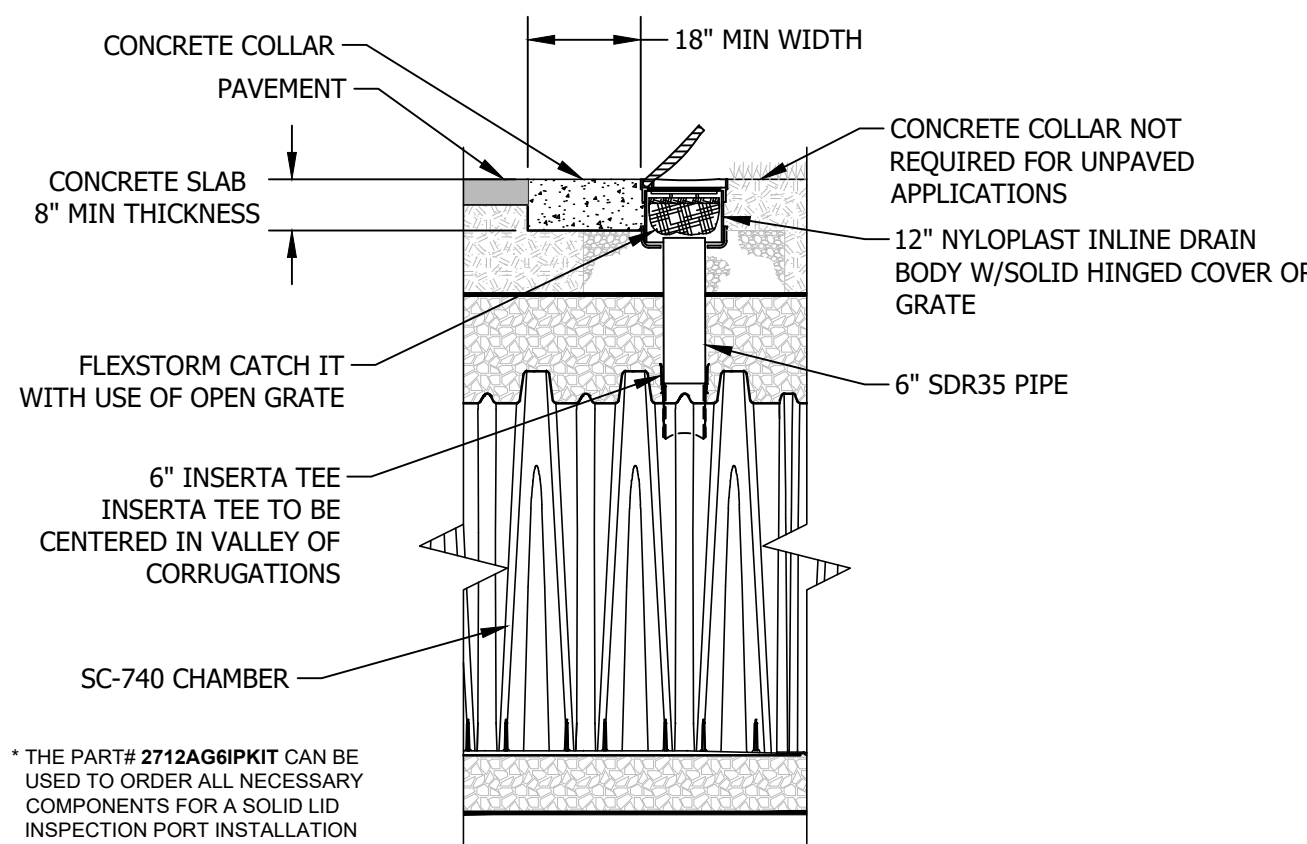
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last revised: 2023-APR-08

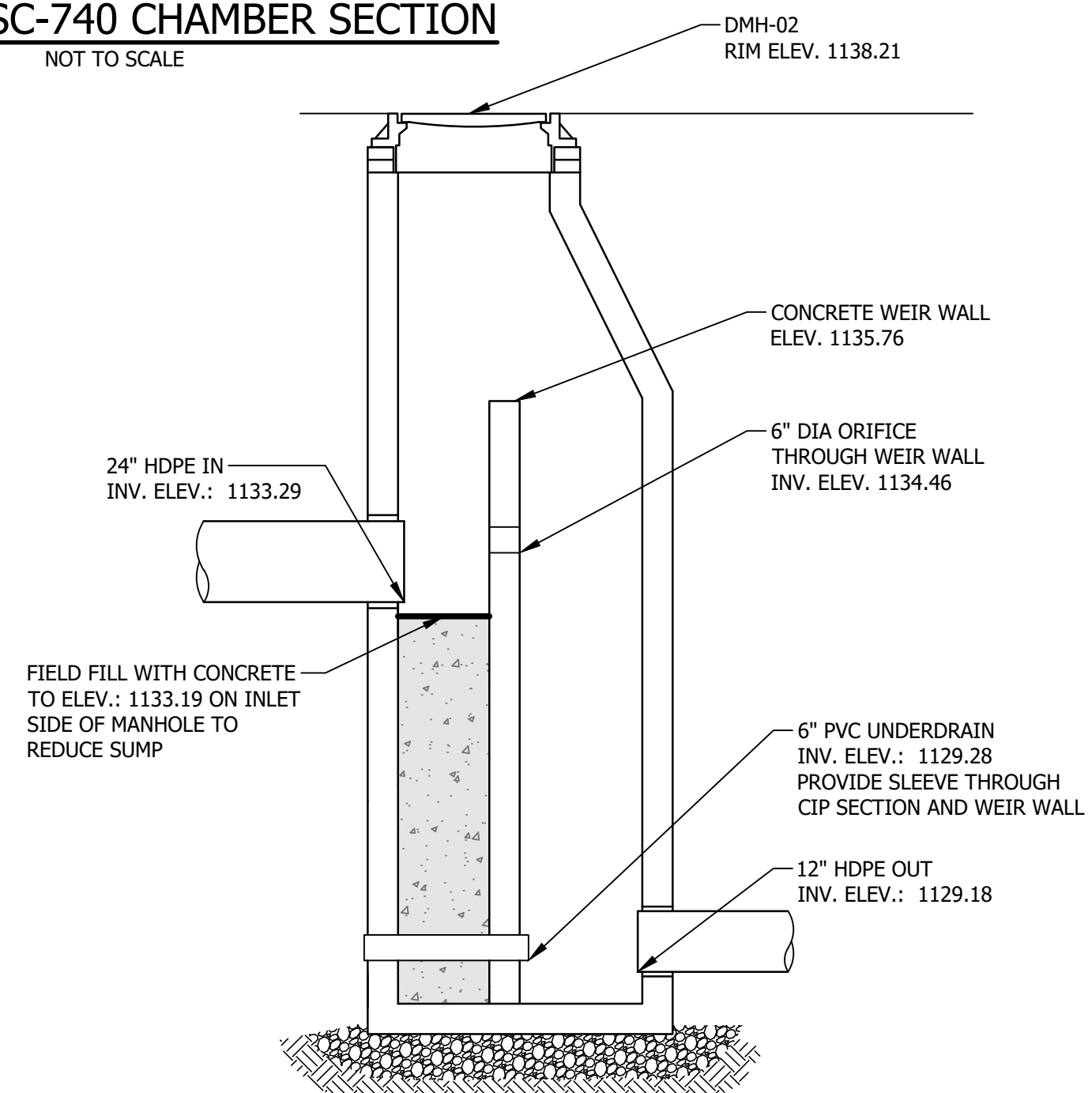
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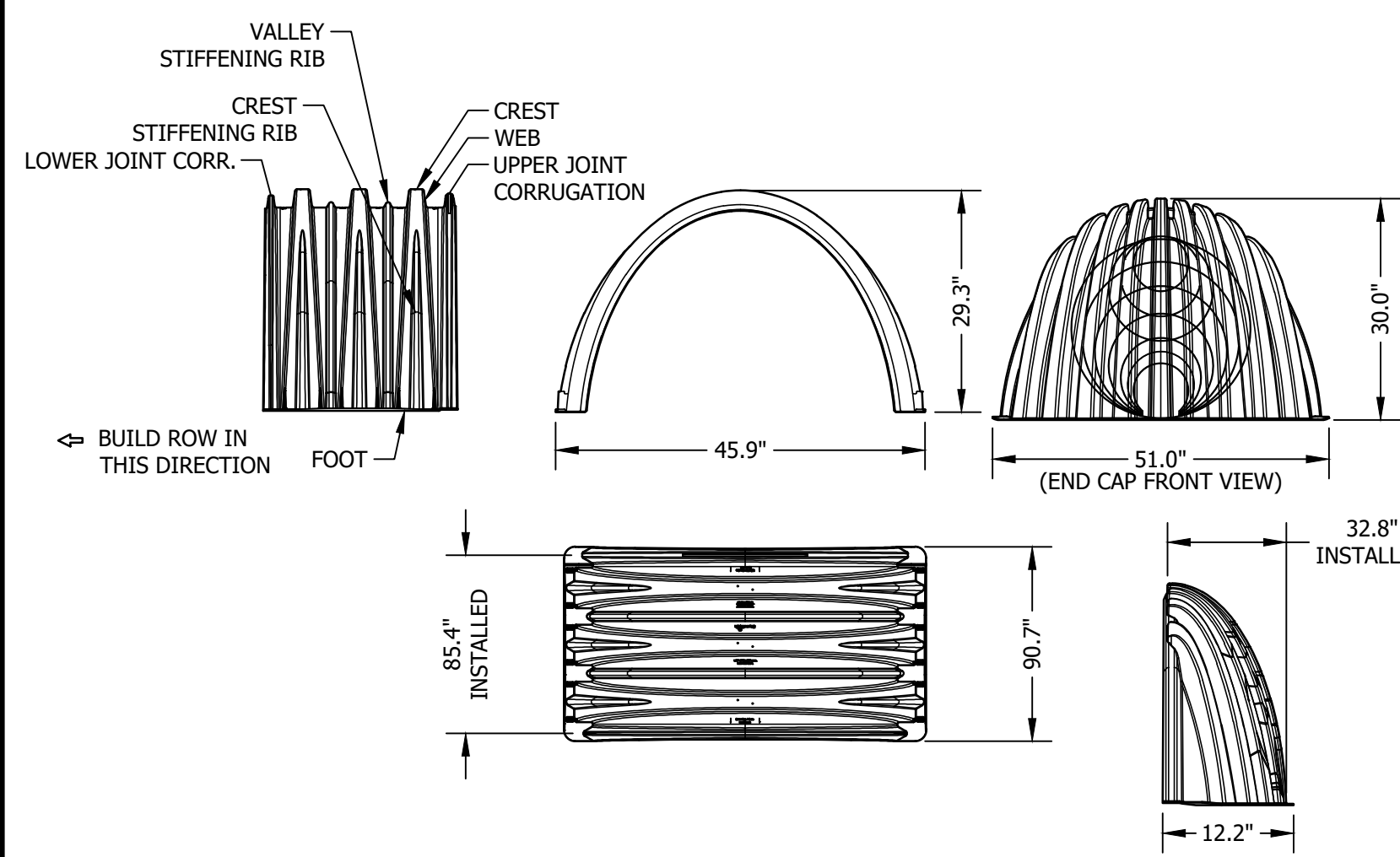
STORMTECH SC-740 CHAMBER SECTION
NOT TO SCALE



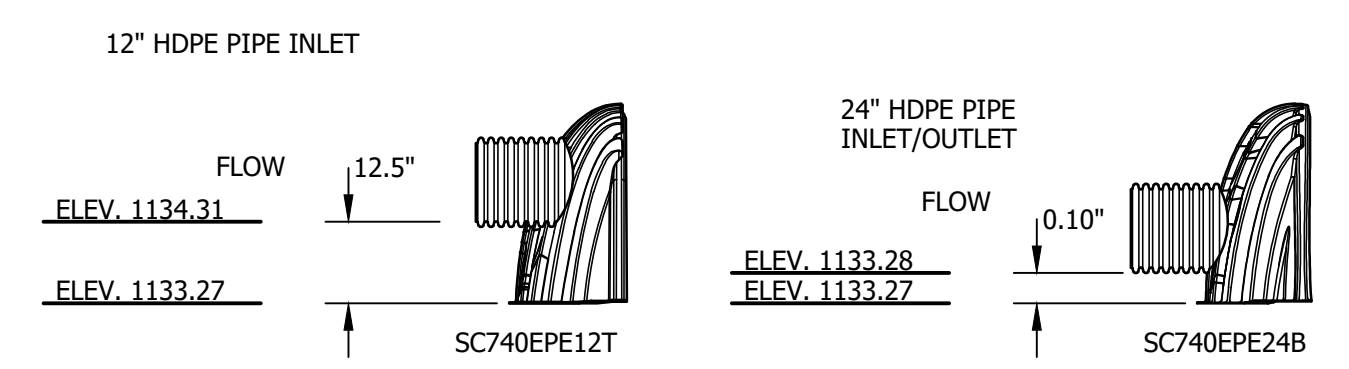
STORMTECH SC-740 6\"/>



DRAIN MANHOLE DMH-02 DETAIL
NOT TO SCALE



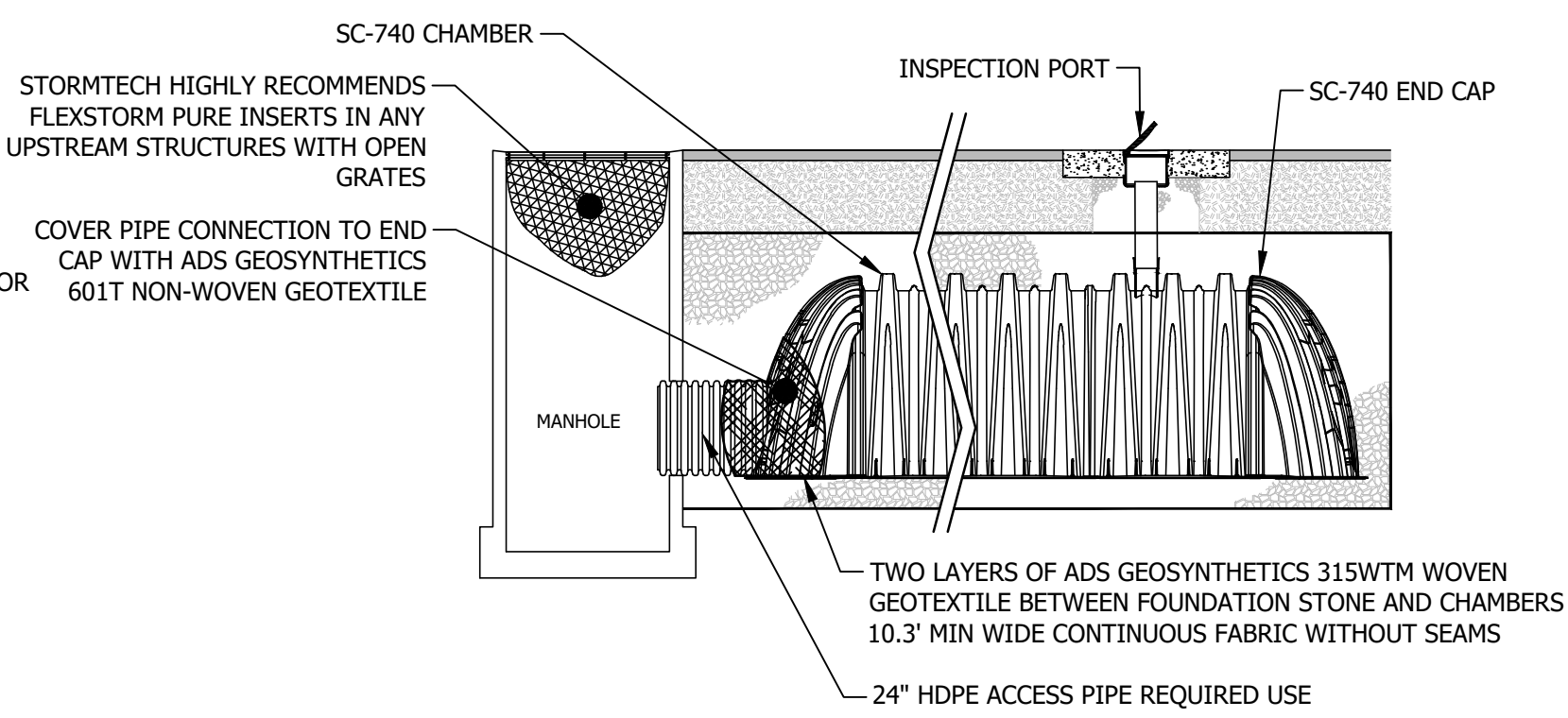
STORMTECH SC-740 CHAMBER DIMENSION
NOT TO SCALE



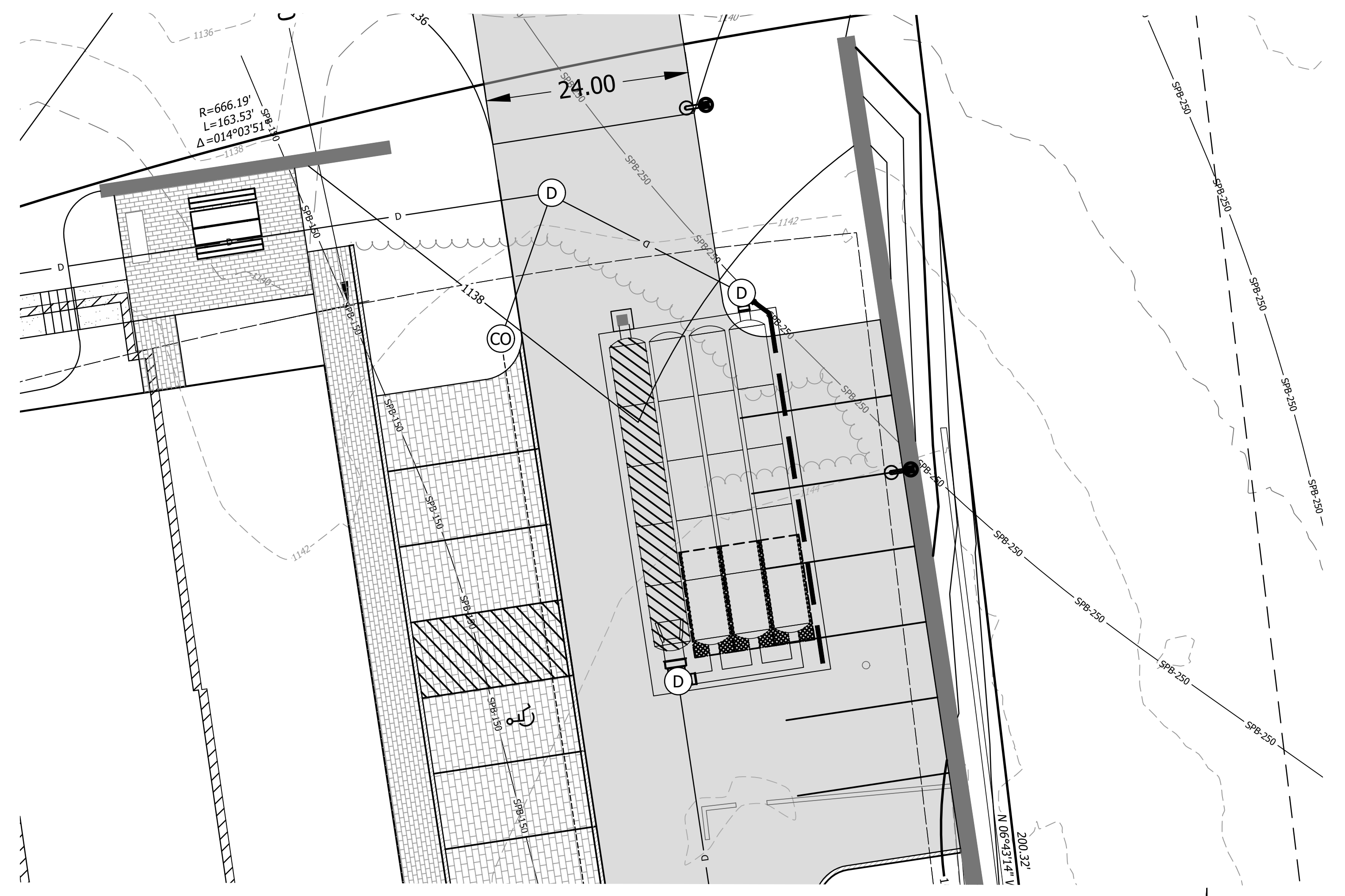
STORMTECH SC-740 CHAMBER INLET SECTION
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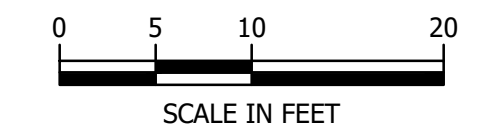
THERMOPLASTIC LINER DETAIL
NOT TO SCALE



STORMTECH SC-740 ISOLATOR ROW DETAIL
NOT TO SCALE



STORMWATER TREATMENT AREA PLAN
SCALE: 1" = 10'



- NOTES:
 1. SEE DRAIN MANHOLE DETAIL, FOR STANDARD DMH CONSTRUCTION REQUIREMENTS. **DMH-02 SHALL BE A 5FT INNER DIAMETER STRUCTURE.**
 2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO VERIFY DIAMETER, INVERTS, AND WEIR.

IMPORTANT NOTES

THIS DRAINAGE SYSTEM DESIGN IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN AND PERMITTING. NOT FOR CONSTRUCTION.
 FOUNDATION AND EMBEDMENT STONE SHALL BE **CLEAN, WASHED, ANGULAR CRUSHED STONE**. ENGINEER SHALL INSPECT AND VERIFY MATERIAL PRIOR TO SYSTEM INSTALLATION.
 THIS SYSTEM IS NOT DESIGNED TO EXFILTRATE TO SOIL. 30 MIL PVC LINER IS REQUIRED

STORMTECH SC-740 CHAMBER SPECIFICATIONS

51.0" WIDE + 6.0" SPACING = 57.0" C-C ROW SPACING
 20 CHAMBERS, 8 END CAPS
 LONGEST ROW:
 [5 CHAMBERS/ROW x 7.12' LONG] + [0.81' CAP LENGTH x 2] = 37.22' ROW LENGTH
 + [12.0" END STONE x 2] = 39.22' BASE LENGTH
 WIDEST WIDTH
 [4 ROWS x 51.0" WIDE] + [6.0" SPACING x 3] + [12.0" SIDE STONE x 2] = 20.5' BASE WIDTH
 [12.0" BASE + 30.0" CHAMBER HEIGHT + 6.0" COVER] = 4.00' FIELD HEIGHT
 [20 CHAMBERS X 45.9 CF] = 918 CF CHAMBER STORAGE
 3,216 CF FIELD - 918 CF CHAMBERS = 2,298 CF STONE X 40.0% VOIDS = 919 CF STONE STORAGE

OVERALL CHAMBER STORAGE + STONE STORAGE = 1,847 CF = 0.042 AF
 OVERALL STORAGE EFFICIENCY = 57.4%

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 TAX MAP 104, LOT 84

ADS STORMTECH CHAMBER SYSTEM DETAILS

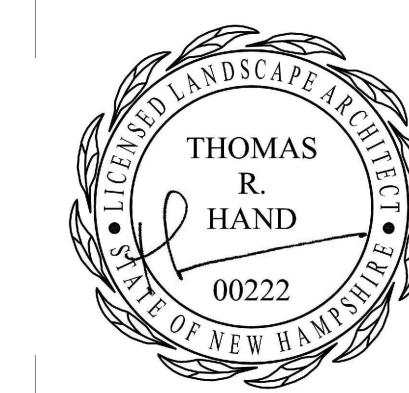
NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE:	MAY 2023	PROJECT #:	21902
ENGINE'D BY:	WTD	DRAWN BY:	APH
CHECK'D BY:	WTD	ARCHIVE #:	H---
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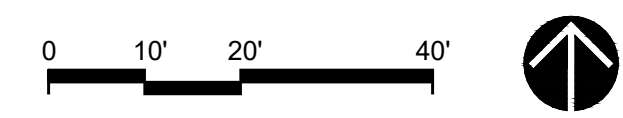
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No.	Description	Date

**GEORGES MILLS
SHOWROOM**
GOODHUE REAL
PROPERTY, LLC
SUNNAPPE, NH

LANDSCAPE SITE
PLAN

JOB NO. 2023.006
SCALE: 1" = 20'-0"
DRAWN BY: th CHECKED BY: th
DATE: 05.11.23
FILE: 11.0_planting_plan_permit.dwg



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PLOT DATE: 2023-05-10



PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE	MATURE SIZE	NOTES
Trees					
AR	Acer rubrum 'Red Sunset'	7	2.5-3" cal.	40-60' ht.	B&B
AR1	Acer rubrum 'Red Sunset'	6	1-1.5" cal.	40-60' ht.	B&B
AS	Acer saccharum 'Commemoration'	2	2.5-3" cal.	40-75' ht.	B&B
AC	Amelanchier canadensis	11	6-8' ht.	20-30' ht.	B&B, clump
BA1	Betula alleghaniensis	2	1-1.5" cal.	40-70' ht.	B&B, Single Stem
BN	Betula nigra 'Heritage'	2	2.5-3" cal.	40-70' ht.	B&B, Single Stem
CC	Cercis canadensis 'Northern Herald'	1	7 gal.	20-35' ht.	B&B
CF	Cornus florida 'Cherokee Princess'	3	1.5-2" cal.	15-25' ht.	B&B
JV	Juniperus virginiana	16	6-7' ht.	15-25' ht.	B&B
PG	Picea glauca	6	8-10' ht.	40-60' ht.	B&B
PS	Pinus strobus	3	8-10' ht.	50-80' ht.	B&B
PT	Populus tremuloides	10	1-1.5" cal.	60-80' ht.	B&B
QE	Quercus ellipsoidalis	1	2.5-3" cal.	50-70' ht.	B&B
QR	Quercus rubra	1	3-3.5" cal.	50-75' ht.	B&B
QR1	Quercus rubra	6	1-1.5" cal.	50-75' ht.	B&B
Shrubs					
Aa	Aronia arbutifolia 'Brilliantissima'	4	48" ht.	6-9' ht.	B&B
Cc	Cornus sericea 'Cardinal'	4	5 gal.	10-15' ht.	cont.
Cr	Cornus racemosa	20	5 gal.	10-15' ht.	cont.
Cs	Cornus sericea 'Arctic Fire'	67	3 gal.	3-4' ht.	cont.
Cp	Comptonia peregrina	5	2 gal.	1-3' ht.	cont.
Ha	Hydrangea arborescens 'Pinky Pollen Ring'	10	3 gal.	3-5' ht.	cont.
Hv	Hamamelis vernalis	1	5 gal.	20-30' ht.	cont.
lvr	Ilex verticillata 'Red Sprite'	18	3 gal.	6-10' ht.	cont.
lvrj	Ilex verticillata 'Jim Dandy'	3	3 gal.	6-10' ht.	cont.
Ra	Rhus aromatica 'Gro-Low'	79	2 gal.	2-5' ht.	cont.
Sa	Spirea alba v. latifolia	18	2 gal.	3-4' ht.	cont.
VI	Viburnum lentago 'Homefree'	1	60" ht.	10-15' ht.	cont.
Ornamental Grasses					
cap	Carex pensylvanica	78	1 gal.	8" ht.	cont. Plant 12" o.c.
pvr	Panicum v. 'Heavy Metal'	53	2 gal.	5' ht.	cont. Plant 24" o.c.
Perennials/Fens					
ard	Aruncus dioicus	19	1 gal.	3-4' ht.	cont., Plant 24" o.c.
dep	Dennstaedtia punctilobula Sod	2750	sf	2' ht.	sod,
Seed					
Lawn Mix					"New England Premier Sun & Shade Mix", Seed 4 lbs/ 1000sf, LD Oliver Seed Company, 802-893-1241
Conservation Meadow Mix					"New England Conservation/Wildlife Mix" Seed 1 lbs / 1750, New England Wetland Plants, 413-548-8000

SITE LIGHTING SCHEDULE

KEY	SYMBOL	QTY.	MANUFACTURER	MODEL	SIZE	DIST.	COLOR	TEMP	SPEC	NOTES
A	⊙	3	Landscape Forms	Leo	16' ht.	Type 3	Matte Black	3000k	4" pole, Single Luminaire	Roadway & Parking Lot Fixture

ROADWAY & PARKING FOOTING TYPE
x.R RAISED, 2" ABOVE GRADE, REFER TO DETAIL

NOTE:
1. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL LAYOUT, DISTRIBUTION TYPE, AND LIGHTING CONTROLS.
2. ALL FIXTURES ARE FULL CUT-OFF AND DARK SKY COMPLIANT.

ISO-CONTOUR KEY

ISO-CONTOUR	FOOTCANDLE VALUE
—————	1.00
-----	0.50
- - - - -	0.25

PERMIT SUBMISSION NOT FOR CONSTRUCTION

No.	Description	Date

GEORGES MILLS SHOWROOM
GOODHUE REAL PROPERTY, LLC
SUNNAPPE, NH

LANDSCAPE PLANTING & SITE LIGHTING PLAN

JOB NO. 2023.006
SCALE: 1" = 20'-0"
DRAWN BY: th CHECKED BY: th
DATE: 05.11.23
FILE: 11.0_planting_plan_permit.dwg



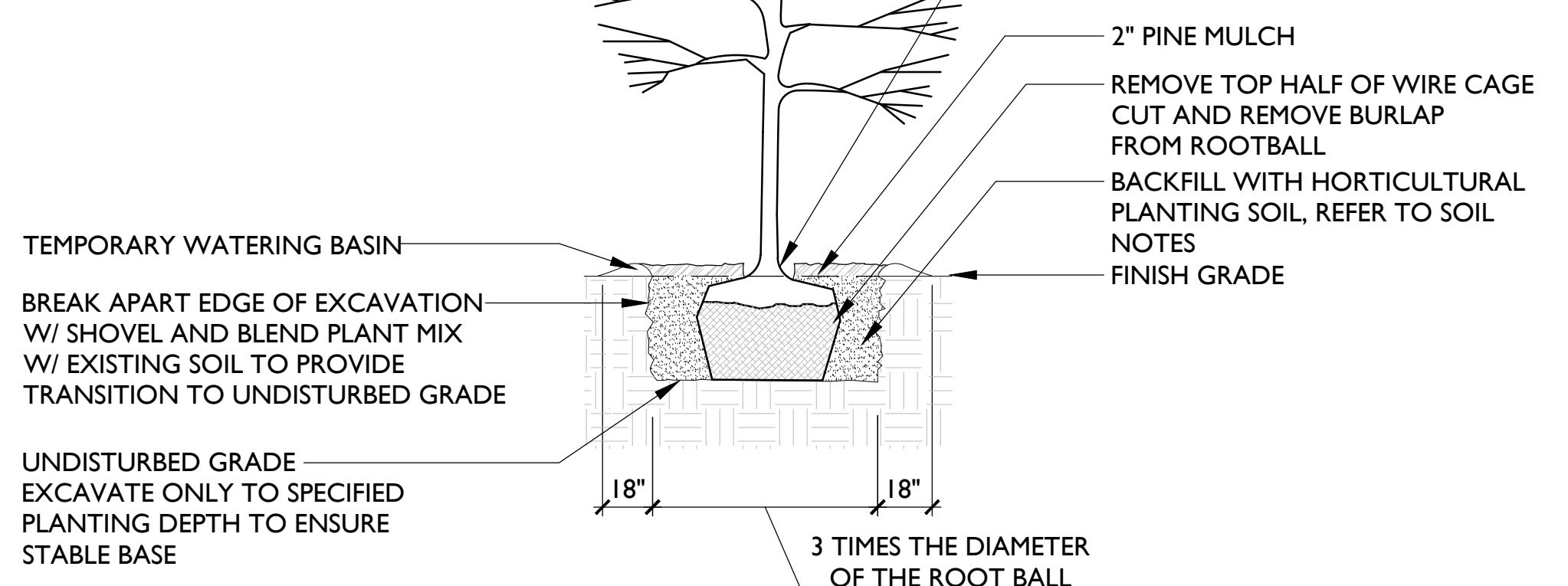
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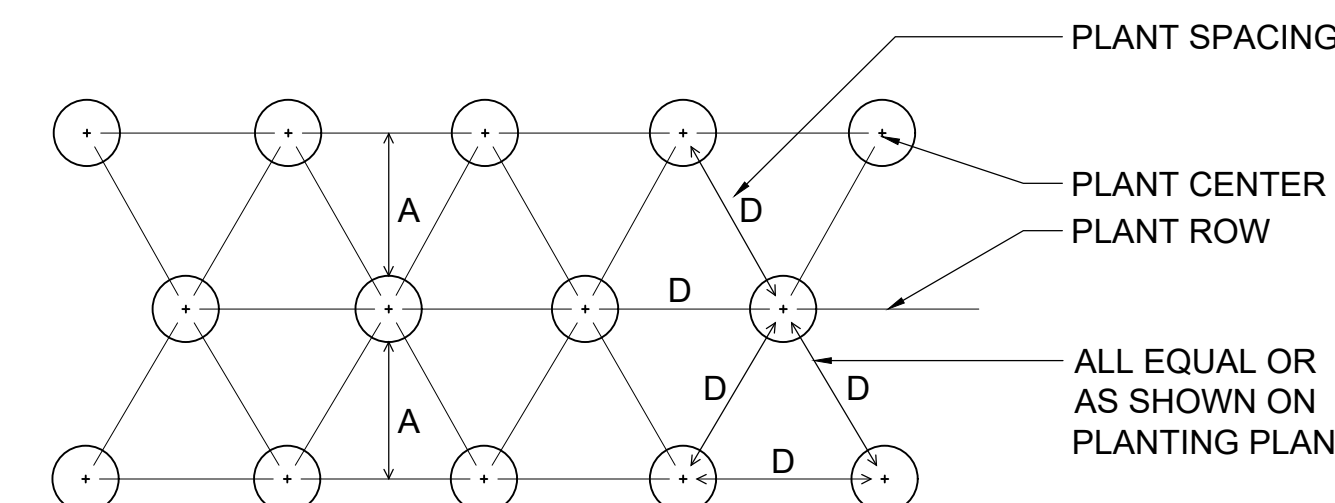


NOTE:
1. EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING, OR SURVEYORS TAPE TO PREVENT FUTURE GIRDLING.
2. SURROUNDING SOIL SHOULD NOT EXCEED 80% COMPACTION, DECOMPACTION WILL BE REQUIRED IF COMPACTED SOILS ARE PRESENT



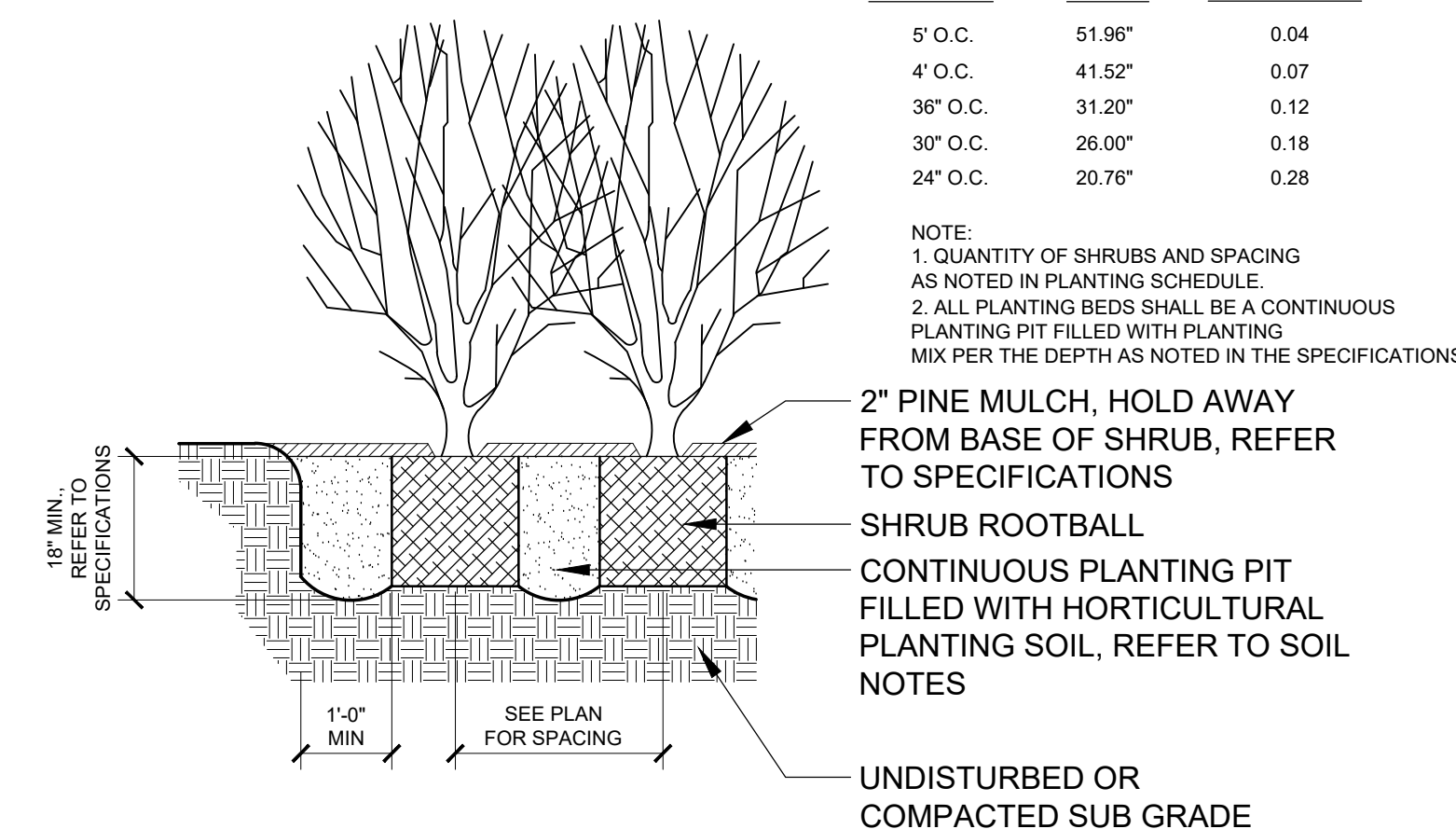
TREE PLANTING

SCALE 1/4" = 1'-0"



SPACING "D"	ROW "A"	NUMBER OF PLANTS/SQ. FT.
5' O.C.	51.96"	0.04
4' O.C.	41.52"	0.07
36" O.C.	31.20"	0.12
30" O.C.	26.00"	0.18
24" O.C.	20.76"	0.28

NOTE:
1. QUANTITY OF SHRUBS AND SPACING AS NOTED IN PLANTING SCHEDULE.
2. ALL PLANTING BEDS SHALL BE A CONTINUOUS PLANTING PIT FILLED WITH PLANTING MIX PER THE DEPTH AS NOTED IN THE SPECIFICATIONS



SHRUB PLANTING

SCALE: 1/2" = 1'-0"

NOTE:
EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING, OR SURVEYORS TAPE TO PREVENT FUTURE GIRDLING.

SURROUNDING SOIL SHOULD NOT EXCEED 80% COMPACTION, DRAINAGE WILL BE REQUIRED IF COMPACTED SOILS ARE PRESENT

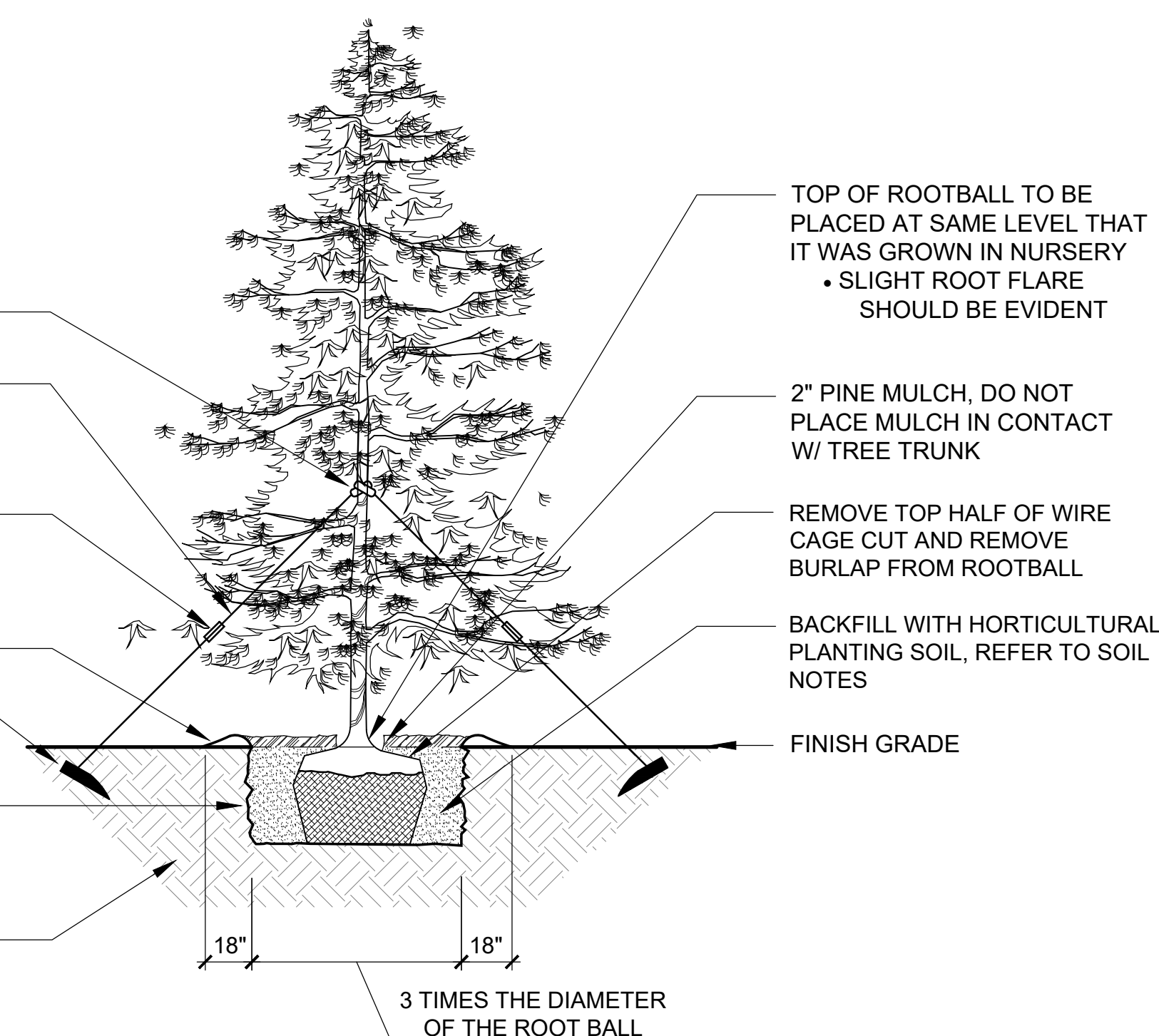
12" X 1 1/2" NYLON/COTTON WEAVE TIES WITH 3/4" GROMMETS
1/8" X 7 X 7 STEEL CABLE FASTENED W/ (2) ZINC PLATED CABLE CLAMPS. COVER GUYS W/3" OF 3/8" DIA. SLIP PLASTIC TUBING.

TURNBUCKLE, EYE & EYE, ZINC PLATED, 10 5/8" OPEN LENGTH, 3/8" THREAD DIA. INSTALL W/ TURNBUCKLE IN OPEN POSITION.

TEMPORARY WATERING BASIN
(3) DUCKBILL TYPE ANCHORS

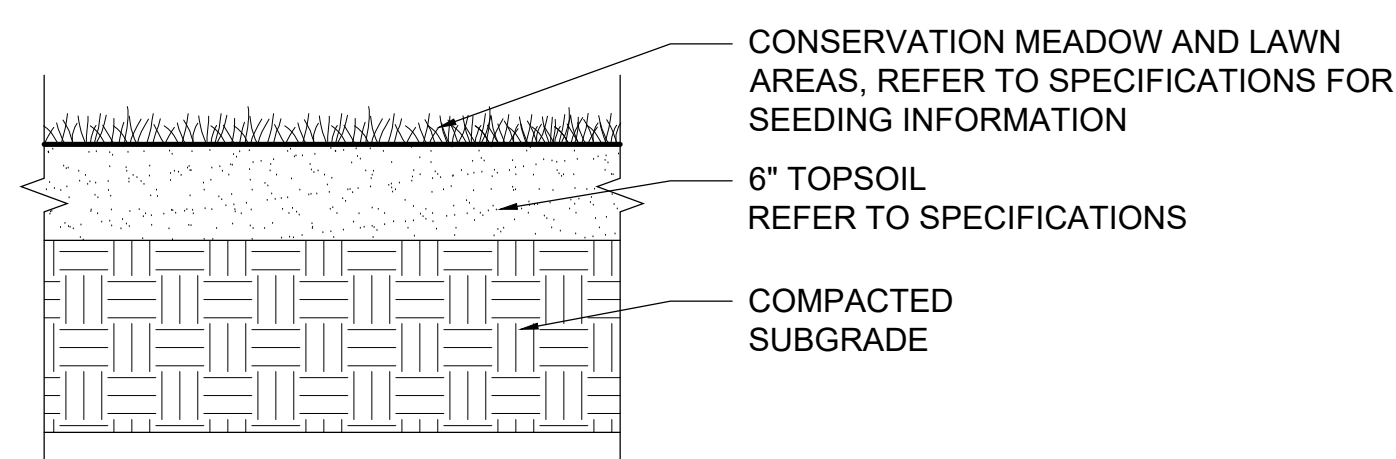
BREAK APART EDGE OF EXCAVATION W/ SHOVEL AND BLEND PLANT MIX W/ EXISTING SOIL TO PROVIDE TRANSITION TO UNDISTURBED GRADE.

UNDISTURBED GRADE: EXCAVATE ONLY TO SPECIFIED PLANTING DEPTH TO ENSURE STABLE BASE



EVERGREEN PLANTING

SCALE 1/4" = 1'-0"



CONSERVATION MEADOW & LAWN AREAS

SCALE 1" = 1'-0"

p-conservation.dwg

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No.	Description	Date

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SHOWROOM**
GOODHUE REAL
PROPERTY, LLC

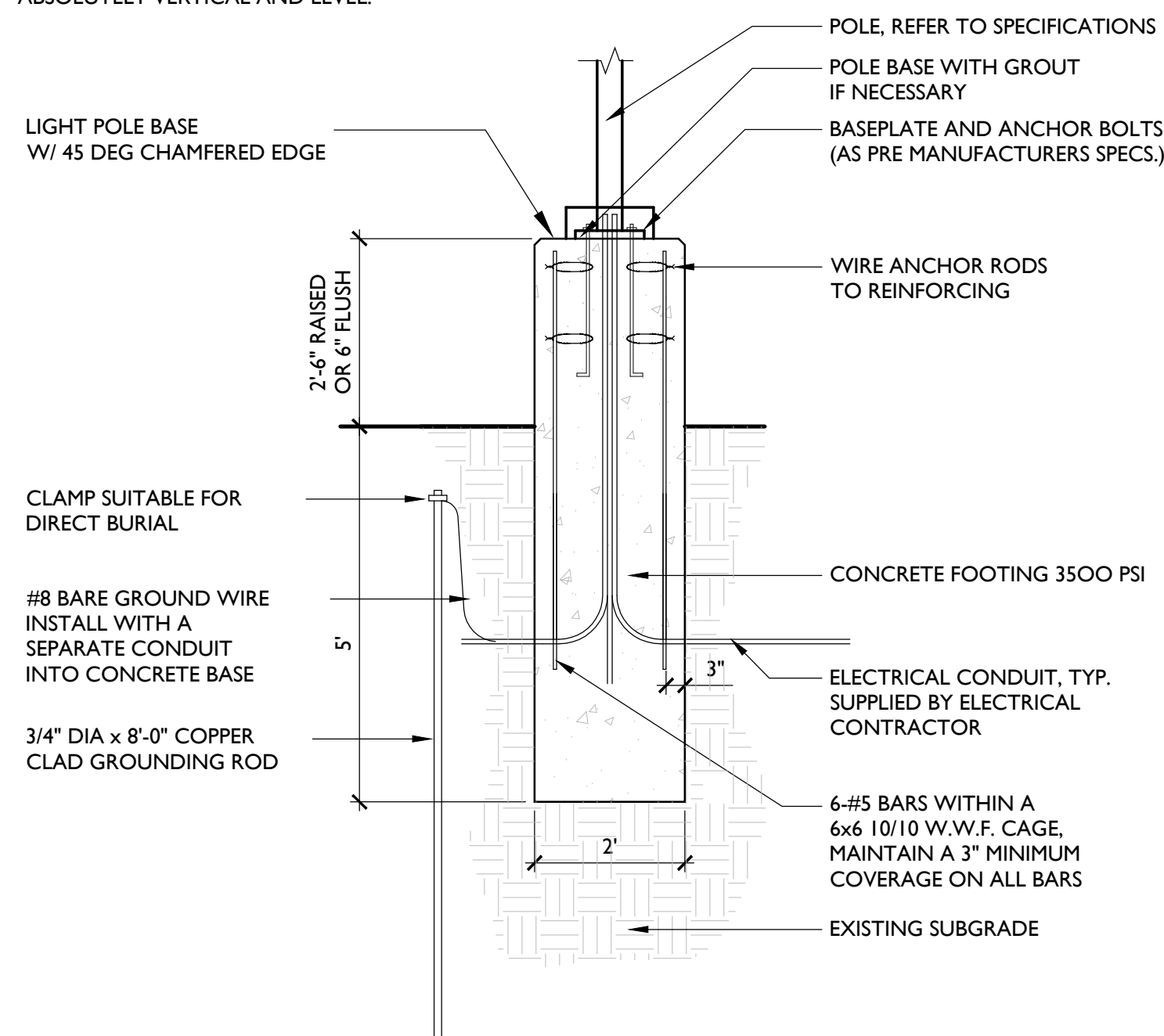
SUNNAPPE, NH

PLANTING DETAILS

JOB NO. 2023.006
SCALE: AS SHOWN
DRAWN BY: th CHECKED BY: th
DATE: 05.11.23
FILE: 11.0_planting plan_permit.dwg

LI.2

NOTE: POLE BASE IS TO BE ONE CONTINUOUS POUR. THE CONTRACTOR WILL TAKE SPECIAL CARE TO ENSURE CONCRETE POLE BASES ARE INSTALLED ABSOLUTELY VERTICAL AND LEVEL.



LIGHT POLE FOOTING
SCALE 1/2" = 1'-0"

LEO Area Light

Product Data Sheet | LE330 & LE350

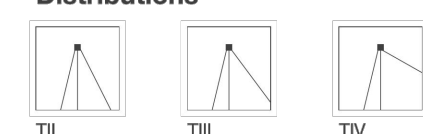


LEO area lights are at home in more places. LEO's multiple distributions and outputs address both visual comfort and performance, with configurable options that let landscape architects, lighting designers, and electrical engineers focus on what's important for their project, whether it is an improved visual experience for intimate pedestrian-scale settings or lumen outputs and pole spacing for cost-driven goals. LEO's simple, understated design fits a variety of site designs and architectural styles, and its 19"-diameter housing strikes an aesthetic balance for varying pole heights and spacing.

General Description

- Single, double, or staggered configurations
- Offered in 4 standard pole heights (12', 16', 20', and 25')
- Simple clamping mechanism mounts to 4", 5", and 6" diameter poles
- Optional ANS136-41 7-pin twist lock receptacle
- Optional photo/motion sensor
- Mounting template and anchor hardware included
- Cast aluminum luminaire ships prewired and fully assembled
- Zero up-light, International Dark-Sky approved
- UL Listed, suitable for wet locations

Distributions



Electrical

Surge protected 100V-277V 50/60 Hz, dimmable Class 2 LED driver mounted within cast aluminum driver compartment. LED cartridge with weatherproof quick-disconnect provides ease of installation and serviceability. LEO ships prewired.

Housing

Luminaire components are cast aluminum. Acrylic lens seals to the LED cartridge housing. Luminaire mounts to 4", 5", and 6" diameter poles with a simple clamping mechanism and is secured with four screws. Driver compartment cover is secured by two screws on top of the luminaire. All hardware is magni-coated.

LEO Area Light

Light Source: Nichia LEDs
Color Temperature: 3000K, 3500K, 4000K
CRI: 80 min
Optics: PMMA
Lens: Clear or Frosted Acrylic

1 Revised April 8, 2022 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

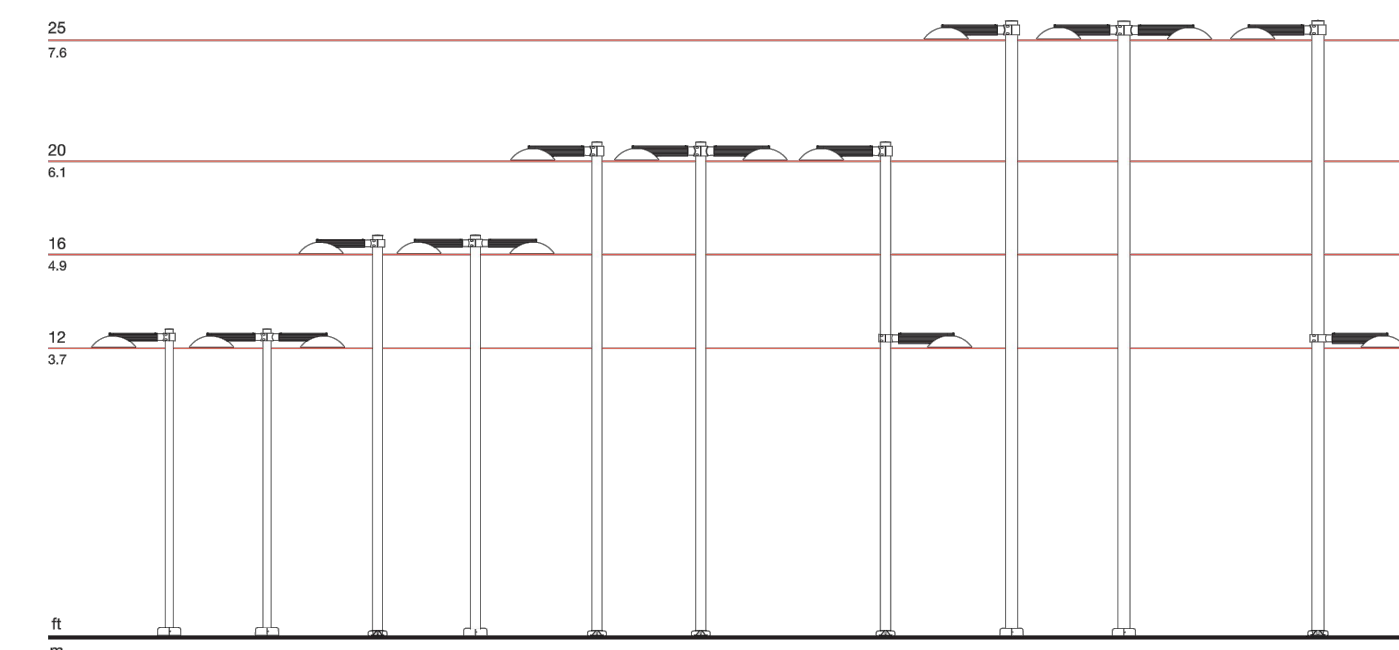
LEO Area Light

Product Data Sheet | LE330 & LE350

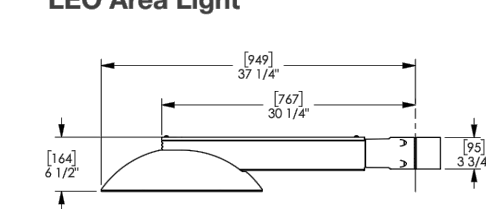


Pole Description

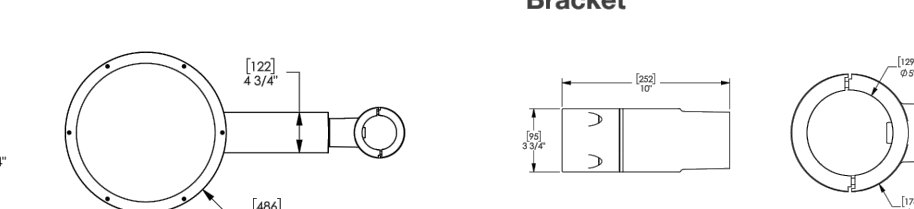
Poles are available in 4", 5", and 6" in diameter and are manufactured from seamless 6061 aluminum tubing and heat treated to produce a T6 temper. Wall thickness varies from 0.125" to 0.156" depending on mounting height and number of luminaires. Flush mounted hand hole cover includes two magni-coated fasteners. Base options included a two-piece cast aluminum cover or cast aluminum nut covers.



LEO Area Light

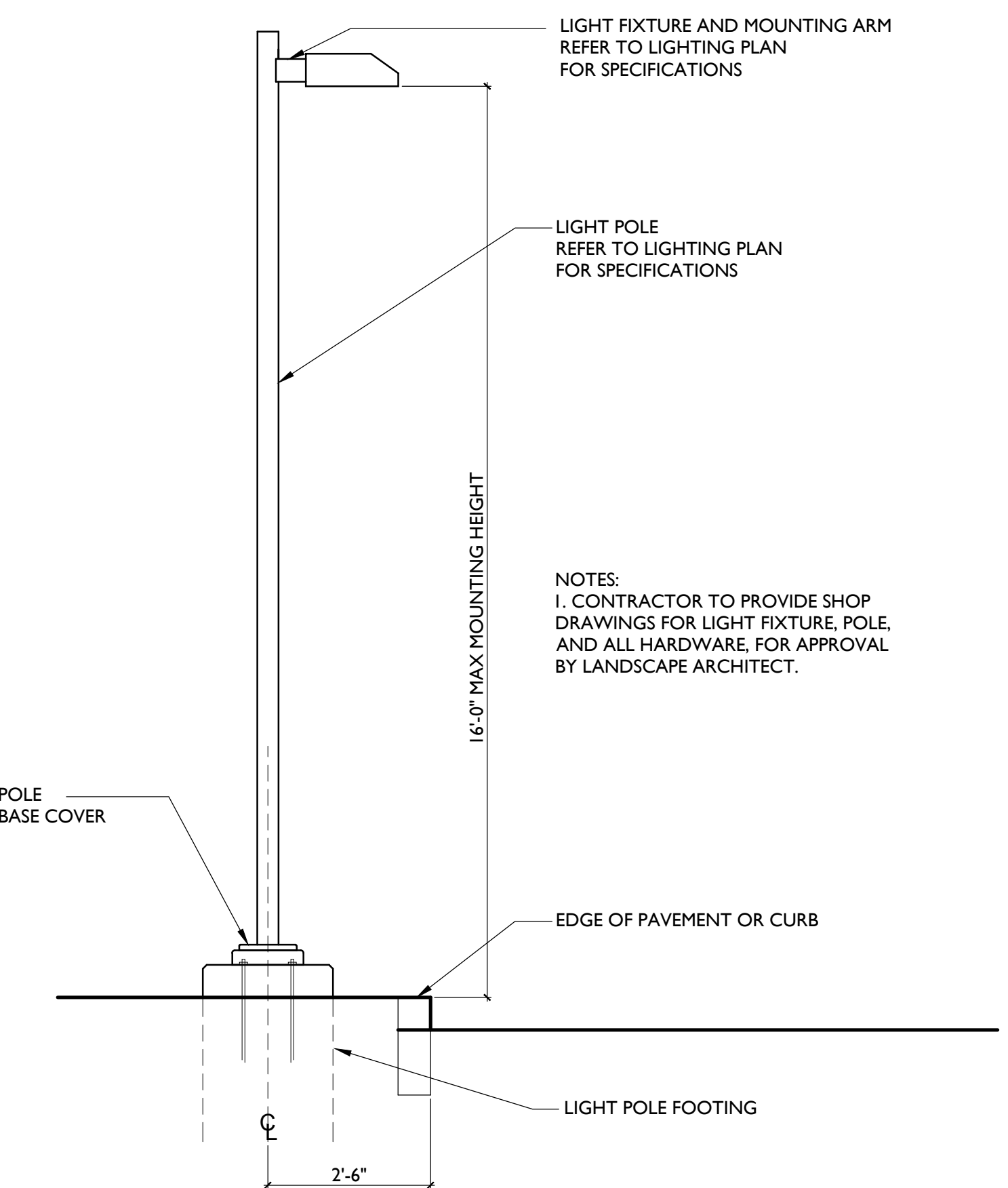


Bracket



Weight: 40 lbs
EPA: 1.14 ft2

2 Revised April 8, 2022 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048



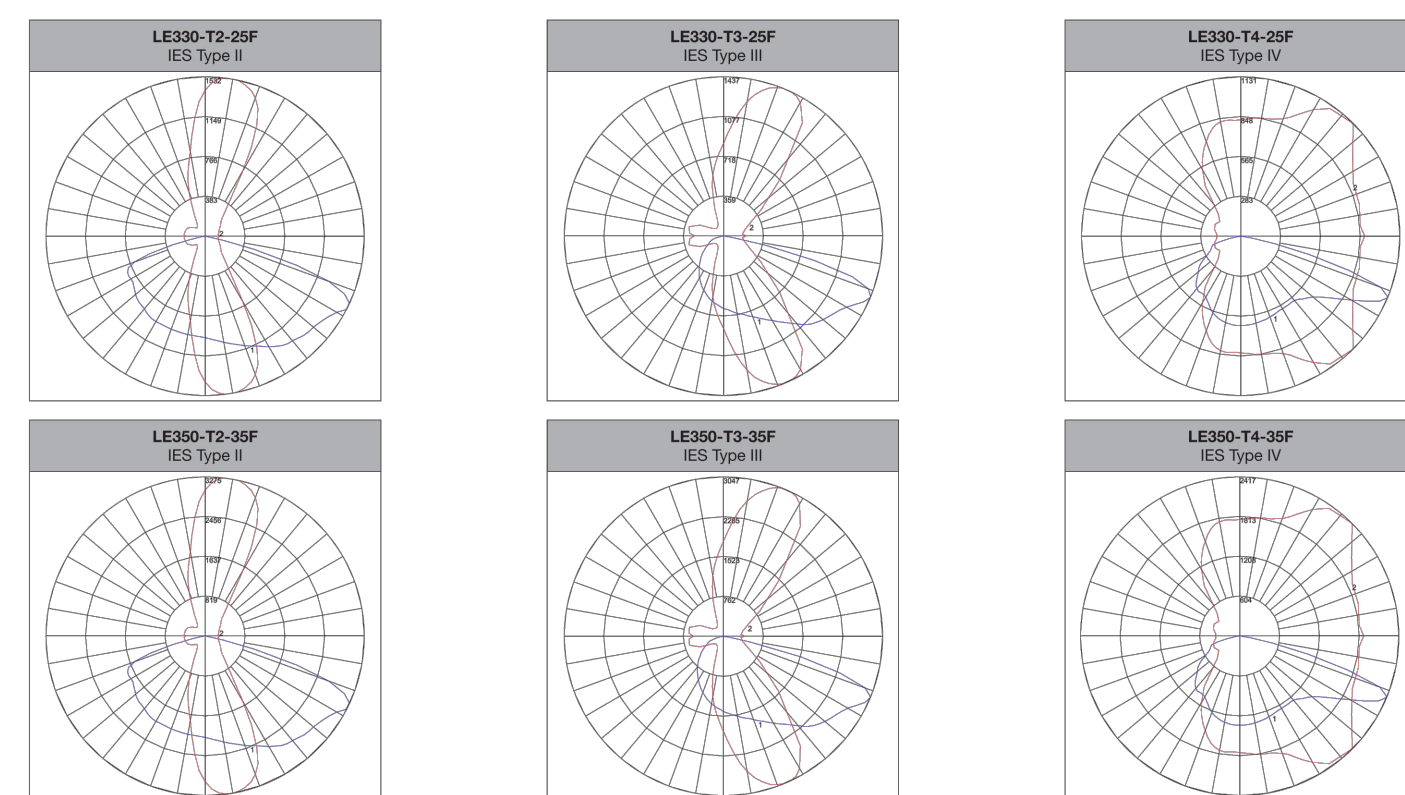
LIGHT FIXTURE
SCALE 1/2" = 1'-0"

LEO Area Light

Product Data Sheet | LE330 & LE350



Model	Distribution Type	Drive Current	Lumens	Watts	Efficacy	BUG Rating
LE330-T3-25F	Type II	250mA	2059	24	122	B1-U0-G1
LE330-T2-37F	Type II	375mA	4245	37	115	B1-U0-G1
LE330-T3-25F	Type III	250mA	2819	24	117	B1-U0-G1
LE330-T3-37F	Type III	375mA	4085	37	110	B1-U0-G1
LE330-T4-25F	Type IV	250mA	2787	24	116	B1-U0-G1
LE330-T4-37F	Type IV	375mA	4039	37	109	B1-U0-G1
LE350-T2-34F	Type II	340mA	6259	55	114	B2-U0-G2
LE350-T2-46F	Type II	460mA	8119	73	113	B2-U0-G2
LE350-T3-34F	Type III	340mA	6024	55	110	B1-U0-G1
LE350-T3-46F	Type III	460mA	7814	73	107	B2-U0-G2
LE350-T4-34F	Type IV	340mA	5956	55	108	B2-U0-G2
LE350-T4-46F	Type IV	460mA	7726	73	106	B2-U0-G2



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LEO Area Light

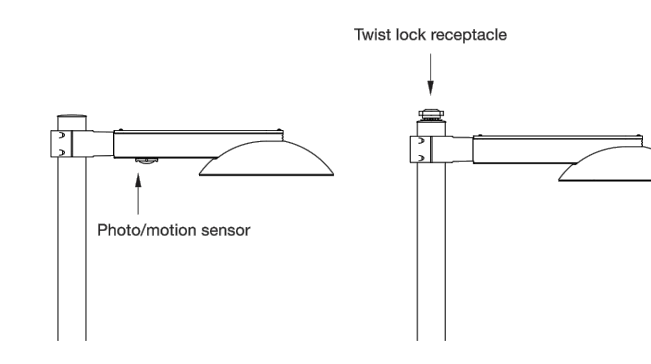
Product Data Sheet | LE330 & LE350



Photo/Motion Sensor

- Fully adjustable high and low dimmed light levels; optional to dawn control
- Rated for extreme temperatures and up to 200,000 on/off cycles
- Hold off setpoint with automatic calibration option for convenience and added energy savings
- Adjustable via handheld wireless configuration tool
- IP66 rated for wet and outdoor locations
- Adjustable time delay and cut off delay

Click [here](#) to view the technical data sheet for the Wattstopper® FSP-211 photo/motion sensor.



Finish

Pangard I18, offered exclusively by Landscape Forms, is a 19 step program of cleaning, priming, and powdercoating that resists rusting, chipping, peeling and fading to produce the finest metal finish available for site furniture and outdoor lighting. In addition, Pangard I18 contains no heavy metals and is free of Hazardous Air Pollutants.

Product Modifications

Don't see what you are looking for? Our goal is to partner with you as the designer to manufacture solutions needed for the space you are creating. We offer the option to modify our standard product to meet certain design specifications or needs. Contact your local Landscape Forms representative to learn more about these offerings.

Product Specifications

Ready to place an order or receive a quote for your project? Reference the LEO Area Light specification sheet available [here](#).

Warranty

LED lighting products are warranted for six years.

Other

UL Listed, RoHS Compliant, Dark-Sky Approved



Designed by John Rizzi in collaboration with Clanton & Associates

Click [here](#) for patent information related to this product.

Visit our website landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level. ©2020 Landscape Forms, Inc. Printed in U.S.A.

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SITE FORM STUDIO

LANDSCAPE ARCHITECTURE

P.O. BOX 1272 STOWE, VT 05672 | SITEFORMSTUDIO.COM



PERMIT SUBMISSION NOT FOR CONSTRUCTION

No.	Description	Date

GEORGES MILLS SHOWROOM

GOODHUE REAL PROPERTY, LLC
SUNNAPPE, NH

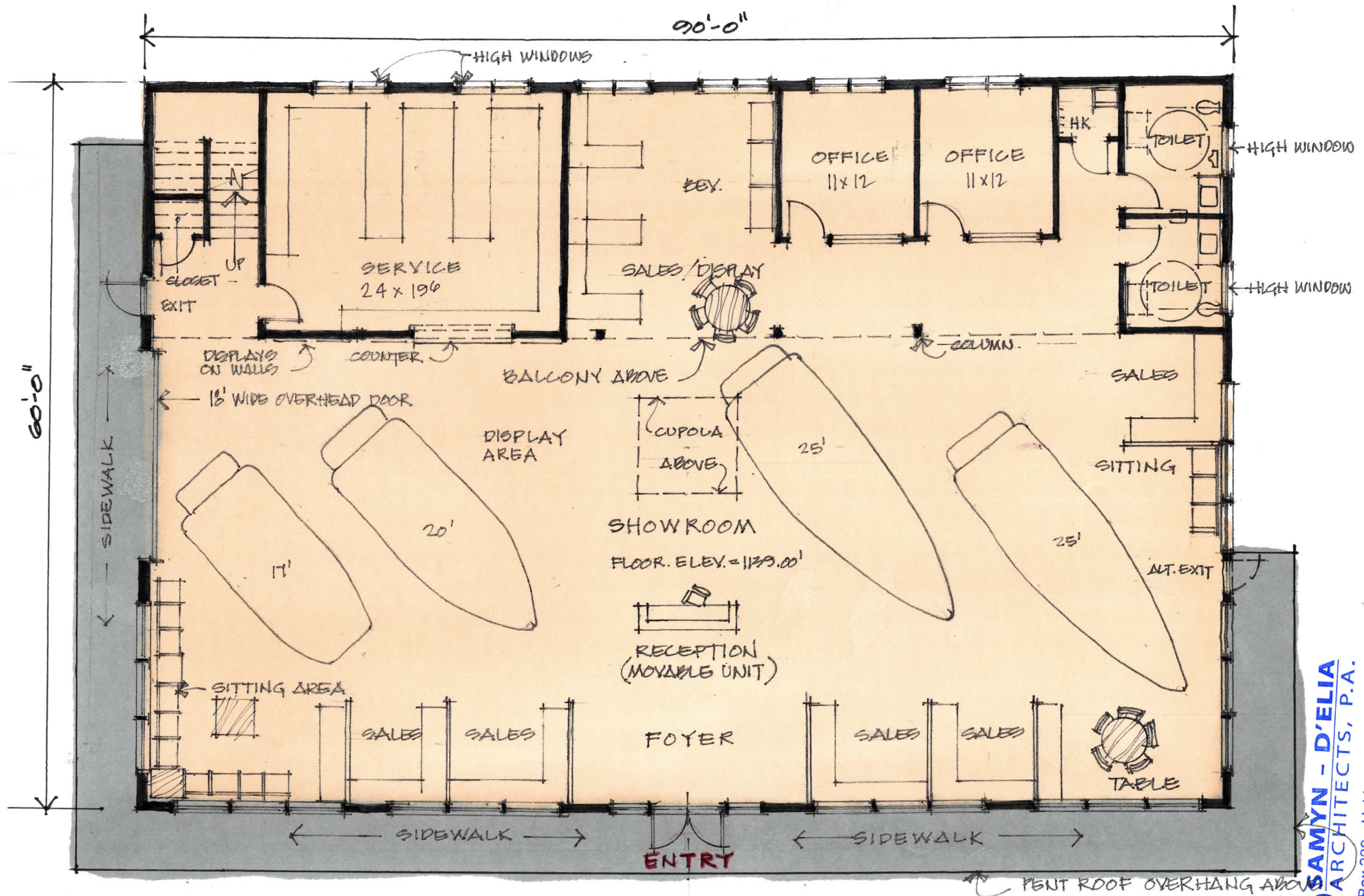
LIGHTING DETAILS

JOB NO. 2023.006
SCALE: AS SHOWN
DRAWN BY: th CHECKED BY: th
DATE: 05.11.23
FILE: 11.0_planting_plan_permit.dwg

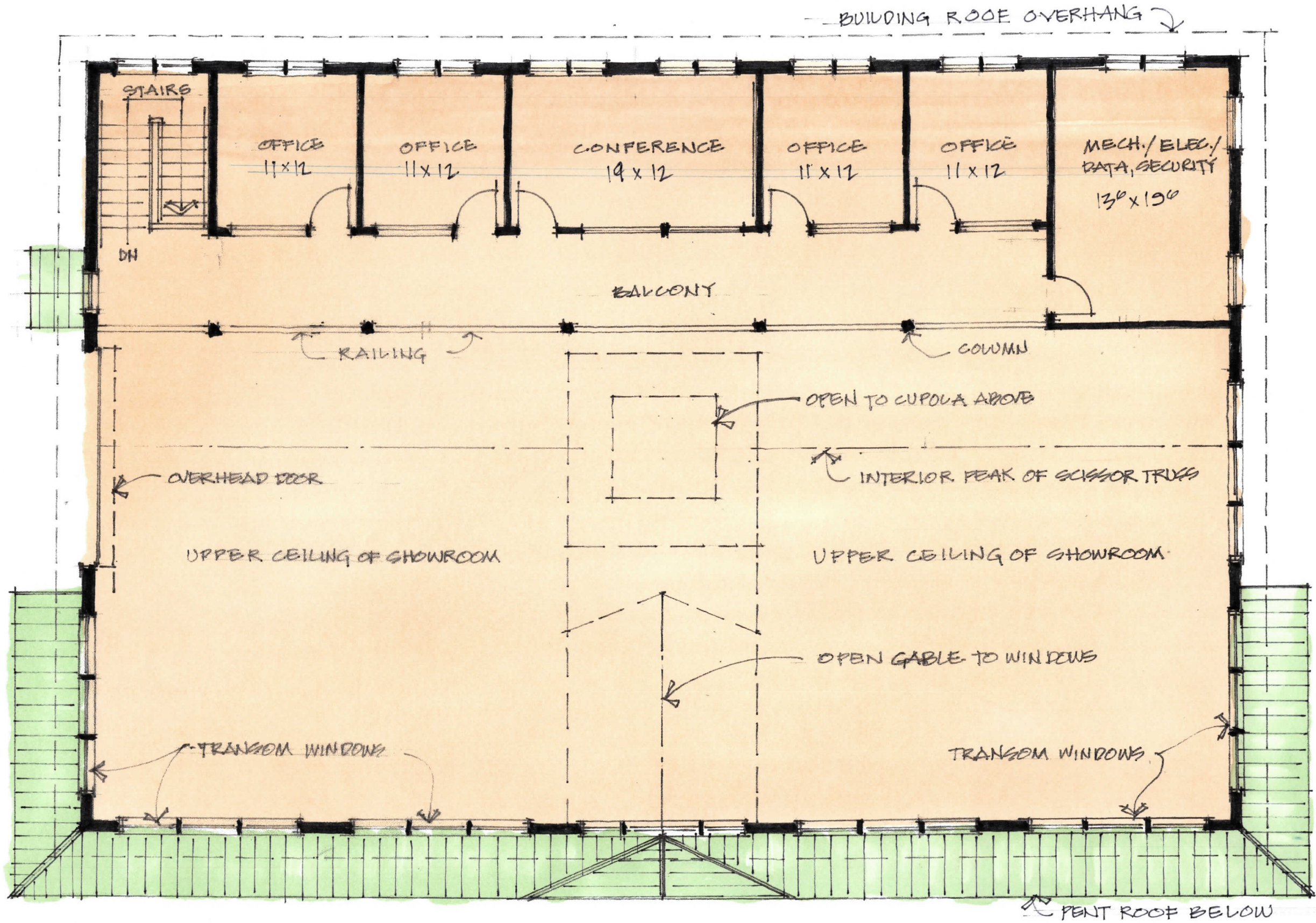
LI.3

PLOT DATE: 2023-05-10

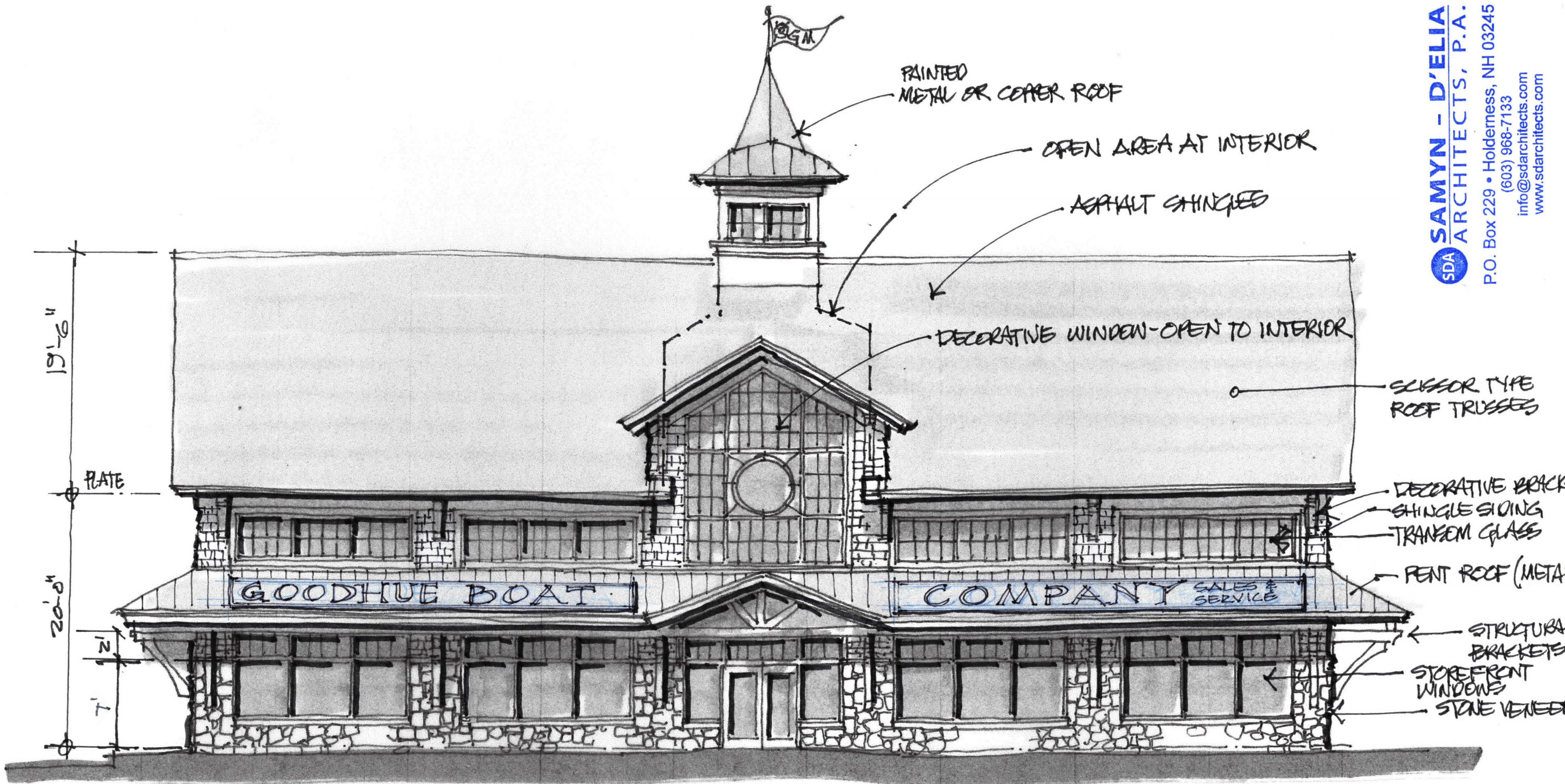
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GOODHUE BOAT COMPANY - SUNAPEE SHOWROOM
FIRST FLOOR PLAN SDA 2310 4.27.2023 1/8" = 1'-0"



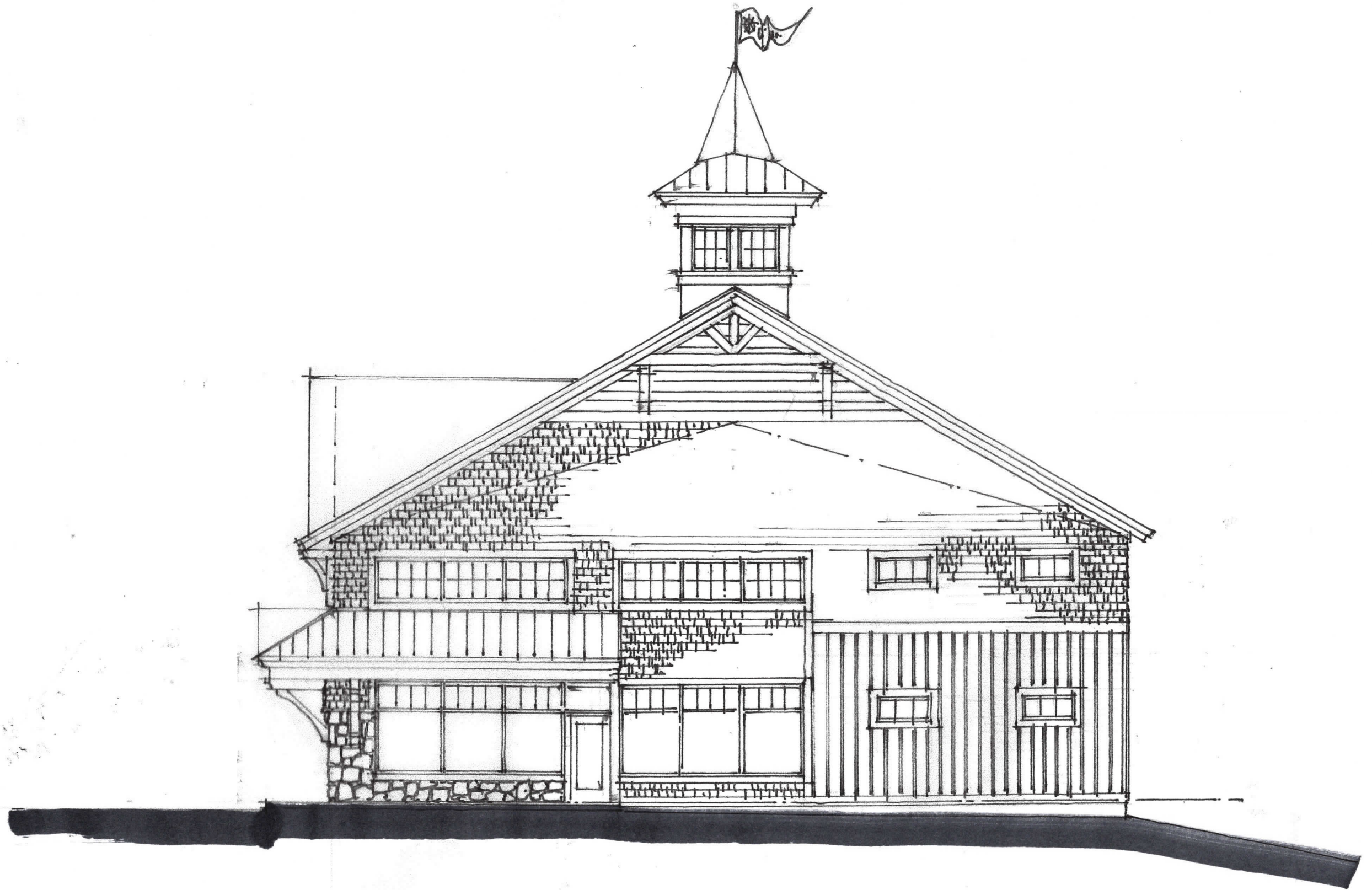
GOODHUE BOAT COMPANY - SUNAPEE SHOWROOM
MEZZANINE LEVEL PLAN **SDA 2310** **4.27.2023** **1/8" = 1'-0"**



SDA **SAMYN - D'ELIA**
ARCHITECTS, P.A.

P.O. Box 229 • Holderness, NH 03245
(603) 968-7133
info@sdaarchitects.com
www.sdaarchitects.com

PROPOSED EAST ELEVATION - SHOWROOM
GOODHUE BOAT COMPANY - SUNAPEE FACILITY SDA 2310 4.26.2023 1/8"=1'-0"



PROPOSED NORTH ELEVATION

GOODHUE BOAT COMPANY - SUNAPEE FACILITY
SDA 2310

4.28.2023

1/8" = 1'-0"

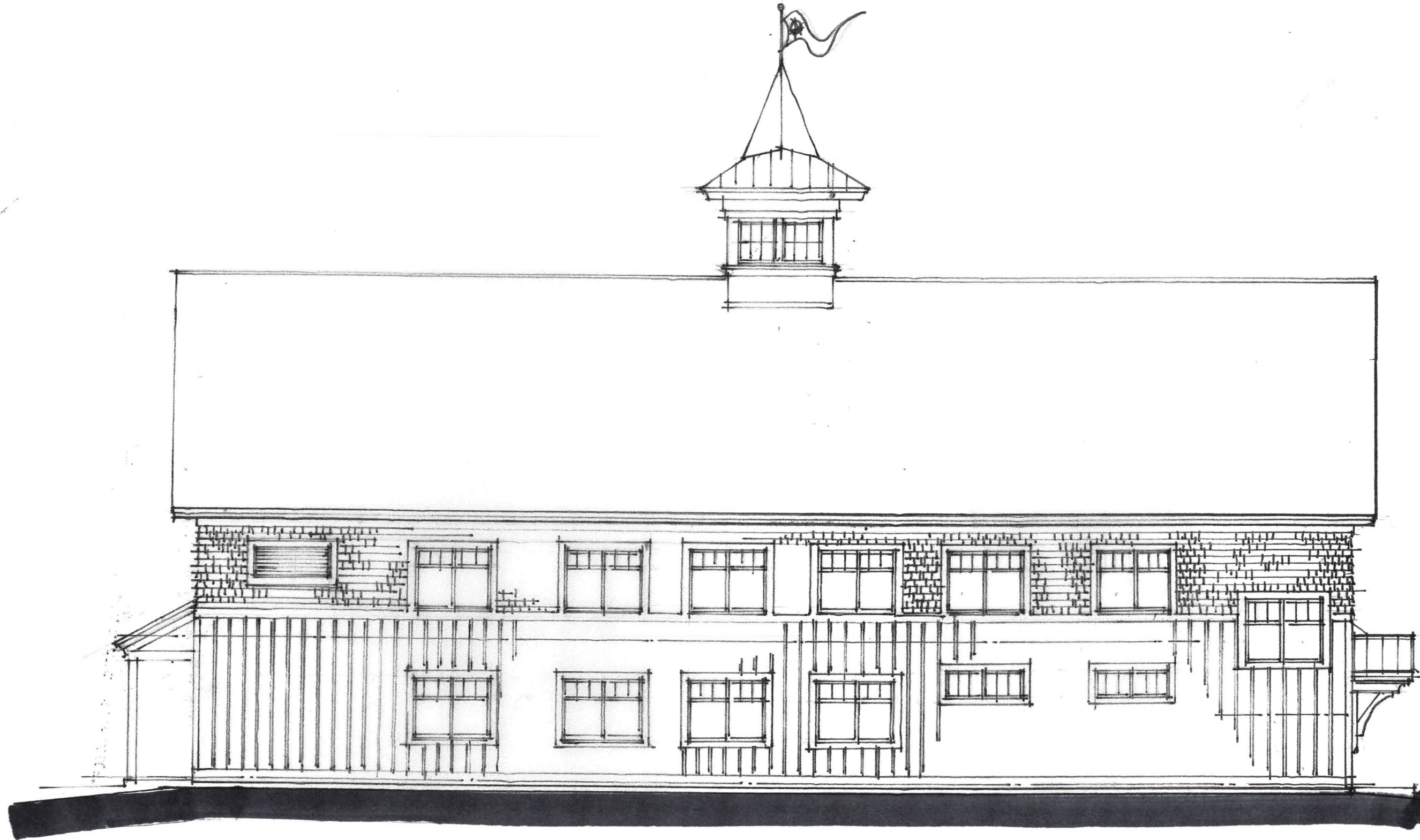
SDA SAMYN - D'E
ARCHITECTS,

P.O. Box 229 • Holderness, NH

(603) 968-7133

info@sdarchitects.com

www.sdarchitects.com



PROPOSED WEST ELEVATION

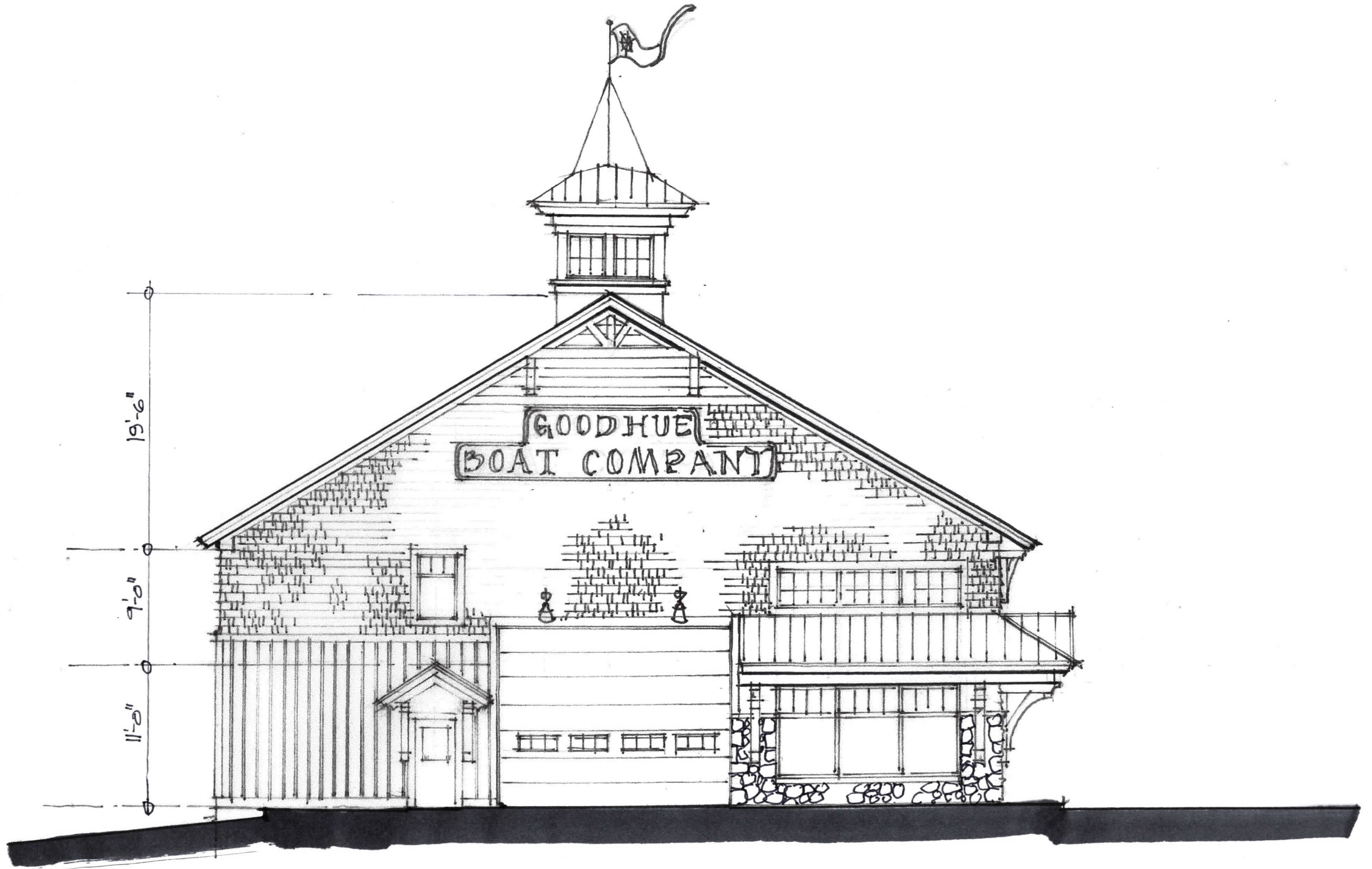
GOODHUB BOAT COMPANY - SUNAPEE FACILITY
SDA 2310

4.28.2023

1/8" = 1'-0"

SDA SAMYN - D'ELIA
ARCHITECTS, P.A.

P.O. Box 229 • Holderness, NH 03249
(603) 968-7133
info@sdarchitects.com
www.sdarchitects.com

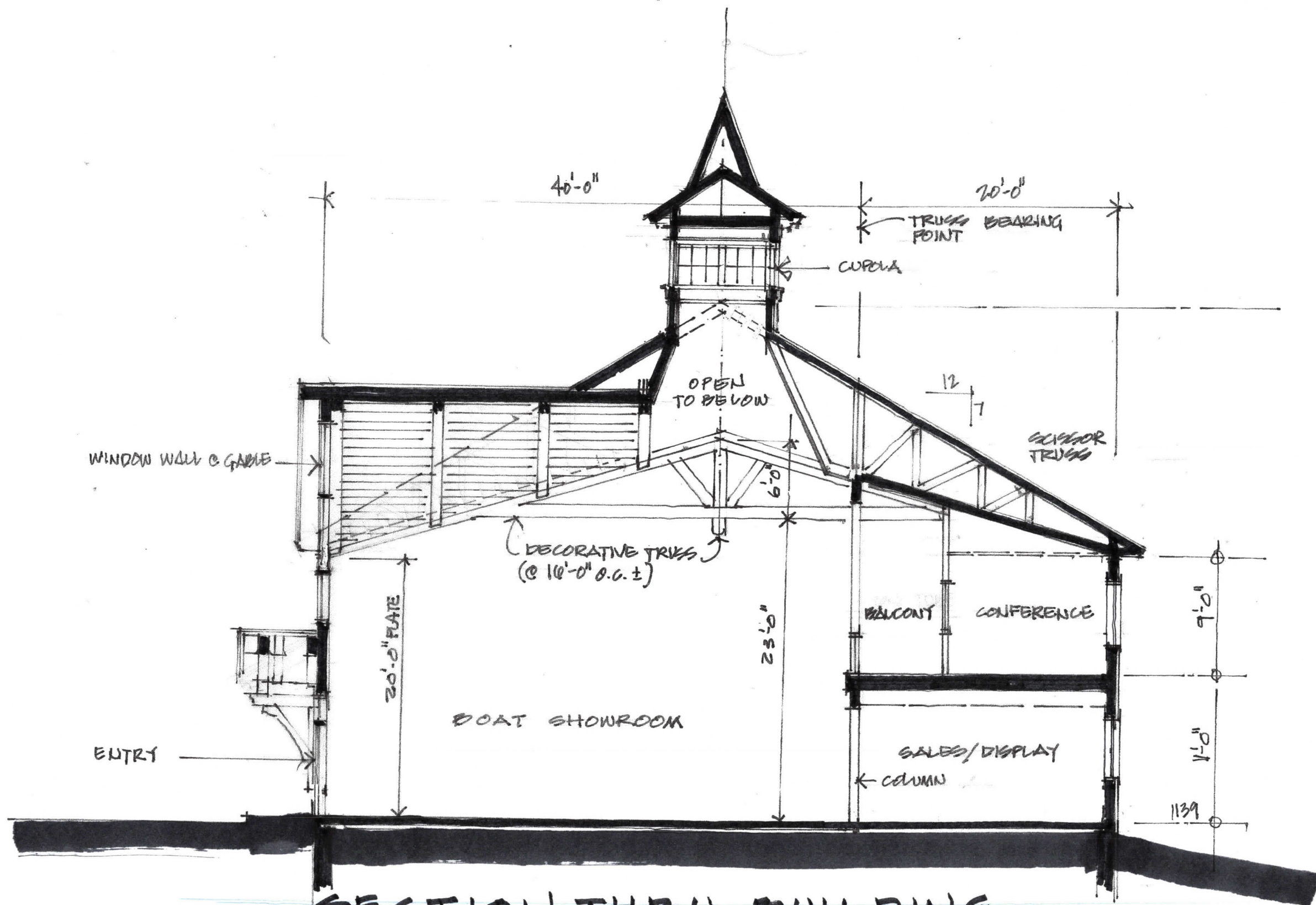


PROPOSED SOUTH ELEVATION

GOODHUE BOAT COMPANY - SUNAPEE FACILITY
SDA 2310 4.28.2023 1/8" = 1'-0"

SDA SAMYN - D'ELIA
ARCHITECTS, P.A.

P.O. Box 229 • Holderness, NH 03249
(603) 968-7133
info@sdarchitects.com
www.sdarchitects.com



SECTION THRU BUILDING

GOODHUE BOAT COMPANY - SUNAPEE FACILITY SDA2310 4.28.2003 1/8"=1'-0"

TOWN OF SUNAPEE

APPLICATION FOR SITE PLAN REVIEW

(PDF OF SITE PLAN MUST BE INCLUDED WITH APPLICATION)

1. Landowner(s) Name(s) Goodhue Sunapee Real Property, LLC

Address PO Box 853, Wolfboro NH, 03894

(Mailing) _____

Phone _____

2. Zoning District Village - Commercial

3. Project Location: 1282 Route 11

4. Parcel ID: Tax Map 104 Lot 84

5. Complete description of current use of property:

Residential rental property

6. Does this project require a special exception or variance by the ZBA as outlined in the Sunapee Zoning Regulations? Yes ___ No X (If yes, complete the Zoning Board of Adjustment application, and Land Use Questionnaire.)

7. Complete description of proposed project (Include area dimensions, use, # of employees, # of dwelling units, etc.)

Demolition of existing buildings and the construction of a new 5,400 SF boat showroom. A new 33 space parking lot will be constructed along with a new walkway to Cooper Street.

8. Certification/Permission for inspection. To the best of my knowledge, the above is true and accurate. I hereby grant permission for site inspection to Planning Board official(s). I also understand that it is my responsibility for providing a complete application. I realize that any of the application requirements, which are assumed waivable during the initial review, may still be required at the time of review by the Planning Board.



Signature(s) of Landowner(s)

05/10/23

Date

Date of Application:

Phase I _____

Phase II _____

Phase III _____

Major Site Plan _____

Home Business _____

Fee Paid _____

Method of Payment _____

FINAL HEARING CHECKLIST

The following items must be submitted in accordance with the attached meeting and deadline schedule for the Planning Board meeting you wish to attend:

- Completed Application
- Fees
- Two (2) copies of plans for review (with required information per Article V)
- List of abutters, including mailing addresses
- PDF of Site Plan emailed to frontdesk@town.sunapee.nh.us

The Planner will review the plans to determine if the appropriate information has been provided on the plans. If the submission is deemed complete, notices will be sent (14) calendar days prior to the hearing. The following items must be included on the plan per Article V:

- Plan at a scale of 1" = 20' or less
- Perimeter boundary survey
- Title of drawing with name of applicant
- Parcel ID
- Name and mailing addresses of abutting property owners
- Signature block for Water & Sewer Commission, Police Chief, Road Agent & Conservation Commission
- Site location map
- North point, bar scale, appropriate dates
- Name, address, and seal of person preparing map
- Location and shape of existing and proposed buildings
- Square footage for each use designated on plan
- Existing and proposed contours at an interval or no more than 5'. Spot elevations for level lot.
- Streams, wetlands, and other water bodies
- Width, location, and grades of existing and proposed streets and driveways
- Layout and size of parking spaces
- Sewage disposal facilities for property including mains and service lines
- Water supply for property including mains and services lines
- Proposed landscaping plan
- Existing and proposed electric lines
- Existing and proposed telephone lines

- X Exterior lighting plan
- Article V requirements (cont.):
- X Proposed signs-size and location
- X Locations of retaining walls, fences, and outside storage areas
- N/A Location of fire alarms and sprinklers

The Planning Board may waive the following items if it is determined, the project's impact will be minor, and otherwise, each item will be required:

- X Drainage design, including drainage structures, culverts, ditches, and storm sewer lines
- N/A Drainage calculations
- N/A Plans for toxic waste storage
- N/A Location of hazardous materials storage

State of New Hampshire Permits:

- pending Department of Transportation (Highway/Access)
- pending NHWSPCD (Septic Systems
- pending Water Supply Division
- pending Site Specific (Department of Environmental Services)
- pending Wetlands Board



176 Newport Road – Suite 8, New London, NH 03257 • Ph 603-877-0116 • Fax 603-526-4285 • www.horizonsengineering.com

May 11, 2023

Town of Sunapee Planning Board
23 Edgemont Road
Sunapee, NH 03782



Re: **Goodhue Boat Company**
Tax Map #104, Lot #84, 1282 Route 11
Georges Mills, Sunapee, NH

Dear Board Members,

On behalf of our client, Goodhue Boat Company (Goodhue), Horizons Engineering, Inc. (Horizons) is pleased to provide the enclosed Application for Site Plan Review. Goodhue is proposing improvements to the above-described parcel by removing an existing structure to build a new 5,400 square-foot boat showroom building along with new parking and other associated site improvements.

The proposed parking lot is planned to include thirty-three (33) parking spaces including one (1) ADA space along with a new commercial driveway in a similar location to the property's existing main driveway. NHDOT will review the driveway application on the state highway.

Earthwork and grading for site preparation and necessary stormwater features will be required to complete the improvements. Stormwater from the new parking lot and half of the building roof will be collected via catch basins and pipes. Stormwater will be detained and treated in an underground chamber filtration system before conveyance off-site. Final design of the system is planned to meet the requirements of NHDES Shoreland rules and best practices for no increase in the peak rate of runoff from the site. In addition, roof runoff from half of the new building will be collected and infiltrated in a stone drip edge adjacent to the building. Pervious pavers are planned for a portion of the parking lot to reduce the overall impervious surfaces on the property and to provide another mechanism for stormwater management.

A landscaping plan has been provided that outlines a robust planting plan aimed at replanting the slope adjacent to Cooper Street and to provide an aesthetically pleasing commercial property with landscaped islands in the parking lot as required. The site has been graded and designed to comply with the Zoning Ordinance and no waivers from the Site Plan Review Regulations are requested.

Horizons Engineering, Inc.

MAINE • NEW HAMPSHIRE • VERMONT

Architectural floor plans and elevation views of the proposed building have been included with the plan set. The application package includes the following:

- Site Plan Review Checklist and Application
- Abutter and Consultant Notification List
- Check for Fee and Notification
- Site Plan Set – Two (2) full size (24"x36")

A PDF of this documentation will also be emailed to the Town. Please feel free to call or email with any additional questions or concerns. I can be reached at (603) 877-0116, or by email at wdavis@horizonsengineering.com.

Respectfully,



Will Davis, PE LEED AP
Vice President
Horizons Engineering, Inc.

Horizons Engineering, Inc.

MAINE • NEW HAMPSHIRE • VERMONT



100 foot Abutters List Report

Tri Town, NH
May 11, 2023

Subject Property:

Parcel Number: Sun-0104-0084-0000
CAMA Number: Sun-0104-0084-0000
Property Address: 1282 ROUTE 11

Mailing Address: GOODHUE SUNAPEE REAL PROPERTY,
PO BOX 853
WOLFEBORO, NH 03894

Abutters:

Parcel Number: Sun-0104-0069-0000
CAMA Number: Sun-0104-0069-0000
Property Address: 1279 ROUTE 11

Mailing Address: GARDNER TRUST, LINDA A. LINDA A
GARDNER, TRUSTEE
PO BOX 86
GEORGES MILLS, NH 03751

Parcel Number: Sun-0104-0070-0000
CAMA Number: Sun-0104-0070-0000
Property Address: 1281 ROUTE 11

Mailing Address: BIG LEAP LLC
125 SUMMIT ROAD
NEW LONDON, NH 03257

Parcel Number: Sun-0104-0083-0000
CAMA Number: Sun-0104-0083-0000
Property Address: 1004 LAKE AVE GM

Mailing Address: CURRIER, JAMES P & CYNTHIA M
PO BOX 116
GEORGES MILLS, NH 03751

Parcel Number: Sun-0104-0085-0000
CAMA Number: Sun-0104-0085-0000
Property Address: 5 COOPER ST

Mailing Address: CAREY, JOHN P & MAUREEN
34205 SOMERSET ROAD
POCOMOKE, MD 21851

Parcel Number: Sun-0106-0017-0000
CAMA Number: Sun-0106-0017-0000
Property Address: 1024 LAKE AVE GM

Mailing Address: GM BOAT CLUB
PO BOX 638
NEW LONDON, NH 03257

CONSULTANTS:

ENGINEER AND SURVEYOR:
HORIZONS ENGINEERING
176 NEWPORT ROAD
SUITE 8
NEW LONDON, NH 03257
(603) 444-1343

LANDSCAPE ARCHITECT:
SITEFORM STUDIO
ATTN: TOM HAND, ASLA, PLA
PO BOX 1272
STOWE, VT 05672

ARCHITECT:
SAMYN - D'ELIA ARCHITECTS, P.A.
6 CENTRAL HOUSE ROAD
HOLDERNESS, NH 03245
(603) 968-7133

GOODHUE
BOAT COMPANY

MEREDITH
31 LOVEJOY SANDS ROAD
MEREDITH, NH 03253

SUNAPEE
19 COOPER ST
GEORGES MILLS, NH 03751

OSSIPEE
65 MARINA RD
FREEDOM, NH 03836

WOLFEBORO
244 SEWALL ROAD
PO BOX 853
WOLFEBORO, NH 03894

February 9, 2023

Re: Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

Dear Mr. Hazelton,

Enclosed please find a check in the amount of \$3,635 for Goodhue Sunapee Real Property's zoning compliance permit application.

Sincerely,

Debra Davidowsky
Controller

RECEIVED
FEB 17 2023
TOWN OF
SUNAPEE

Re: [EXTERNAL]RE: [EXTERNAL]FW: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

Scott Hazelton <Scotth@town.sunapee.nh.us>

Wed 2/8/2023 12:56 PM

To: Philip Hastings <hastingsp@cwbp.com>; Town Manager <manager@town.sunapee.nh.us>; Michael Marquise <Michael@town.sunapee.nh.us>

Cc: Allyson Traeger <allyson@town.sunapee.nh.us>

Good Morning Phil:

Thank you for submitting the special exception application so promptly. We will begin review of the Certificate of Zoning Compliance (CZC) Permit Application upon receipt of the check for the \$3,635 as agreed to below and will put the CZC Permit Application on hold until all necessary local and state permits have been received.

We will place your applicant's variance and special exception applications on the Zoning Board's agenda for the March 2, 2023, meeting. All permit application fees, including the CZC permit application fees, are non-refundable.

We look forward to working with you and/or your client through the local review process. Please do not hesitate to contact me if you have any questions.

Kind Regards,

Scott Hazelton, CPESC
Town of Sunapee
Planning, Zoning & Compliance Administrator
23 Edgemont Road
Sunapee, NH 03782
Office Phone: (603) 763-2212 Ext. 1023
E-mail: Scotth@town.sunapee.nh.us

From: Philip Hastings <hastingsp@cwbp.com>

Sent: Tuesday, February 7, 2023 12:55 PM

To: Scott Hazelton <Scotth@town.sunapee.nh.us>

Cc: Michael Marquise <Michael@town.sunapee.nh.us>; Town Manager <manager@town.sunapee.nh.us>; Allyson Traeger <allyson@town.sunapee.nh.us>; Kris McAllister <assessor2@NewLondon.NH.gov>

Subject: [EXTERNAL]RE: [EXTERNAL]FW: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

You don't often get email from hastingsp@cwbp.com. [Learn why this is important](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Attached is the special exception application. I will put a hard copy in the mail to you with the \$150 filing fee.

Philip M. Hastings, Esquire
Cleveland, Waters and Bass, P.A.

Two Capital Plaza, 5th Floor
P.O. Box 1137
Concord, NH 03302-1137
Telephone: 603-224-7761 x1069
Direct Dial: 603-229-1069
Fax: 603-224-6457

With offices also in New London and Dover, New Hampshire.

Visit the CWB website at www.cwbpa.com

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From: Philip Hastings <hastingsp@cwbpa.com>
Sent: Monday, February 6, 2023 3:01 PM
To: Scott Hazelton <Scotth@town.sunapee.nh.us>
Cc: Michael Marquise <Michael@town.sunapee.nh.us>; Town Manager <manager@town.sunapee.nh.us>; Allyson Traeger <allyson@town.sunapee.nh.us>; Kris McAllister <assessor2@NewLondon.NH.gov>
Subject: RE: [EXTERNAL]FW: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

Thank you for getting back to me so promptly. While I don't necessarily agree that Section 8.20 of the Ordinance requires the submission of a CZC Permit Application (and payment of the CZC application fee) as a precondition of obtaining a variance, my client will get you a check for the \$3,635 as requested so that you can begin to process the variance application. I assume that if the project is altered during the course of the permitting process, this fee will be credited against any additional fees or partially returned as the case may be. I assume as well that if the necessary ZBA relief and/or site plan approval is not granted, my client will be able to recover the amount of the fee.

As to the variance application, please accept my apologies for the oversight with respect to Section 3.40(j) and mistaken reference to the 40' setback. Attached are the corrected pages.

We will review the definition of "marina" and submit an application for a special exception to the extent necessary. I assume that if you receive the application promptly, then you will notice both the variance and special exception applications so that they are considered together on March 2. I also assume that you will not need separately mailing fees for the abutter notices but will require a separate application fee for the special exception.

Please let me know if any of my assumptions are mistaken or if you have any additional questions.

Philip M. Hastings, Esquire
Cleveland, Waters and Bass, P.A.
Two Capital Plaza, 5th Floor
P.O. Box 1137
Concord, NH 03302-1137
Telephone: 603-224-7761 x1069
Direct Dial: 603-229-1069
Fax: 603-224-6457

With offices also in New London and Dover, New Hampshire.

Visit the CWB website at www.cwbpa.com

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From: Scott Hazelton <Scotth@town.sunapee.nh.us>

Sent: Saturday, February 4, 2023 1:12 PM

To: Philip Hastings <hastingsp@cwbpa.com>

Cc: Michael Marquise <Michael@town.sunapee.nh.us>; Town Manager <manager@town.sunapee.nh.us>;

Allyson Traeger <allyson@town.sunapee.nh.us>; Kris McAllister <assessor2@NewLondon.NH.gov>

Subject: Re: [EXTERNAL]FW: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

Good Morning Phil:

A Certificate of Zoning Compliance (CZC) Permit Application is required by the Town's Zoning Ordinance per Zoning Article VIII, section 8.20(a) as the proposed retaining wall exceeds 42" in height and is therefore considered a structure. The CZC Permit Application must be complete, include all required documents, plans and permits, and fees in order to be forwarded to the Board of Selectmen for approval. In the event that documents or permits have not been received by an applicant or his/her agent (i.e. variance, special exception, site plan approval and/or any NHDES permits), and therefore they cannot be included with the CZC Permit Application at the time of submission, the Town will hold the CZC Permit Application until the documents or permits are received and will schedule specific meetings (i.e. Planning Board or ZBA), if necessary. I hope this clarifies the CZC requirement.

Additionally, I reviewed the variance submission documents this morning, and it appears that the following items are incorrect and/or that some clarification is needed:

- Page 2, under the General Description of the Variance Application it indicates that the development of the property is for a "retail showroom". Could you please clarify the type of retail showroom that the property is going to be developed into? In previous conversations with Cody Gray, he indicated that the property was going to be developed into a "retail boat showroom". If this is the case, a retail boat showroom is defined as a marina under Zoning Article XI Definitions and Explanations of the Zoning Ordinance and is permissible by Special Exception under Article IV section 4.10 of the Village Commercial District.
- Page 2, under the Specific Reason the Variance is Necessary: A variance is requested from Zoning Ordinance, Article III, Section 3.10. The variance should be requested from Article III, Section 3.40(j) which states that "Retaining walls over 42" in height must meet all of the setback requirements of the Zoning District in which they are constructed. All multi-tiered retaining walls must have a terrace whose depth is equal to or greater than the adjacent height of any wall."
- Statement of Facts and Law, under the section Background, Project Description and Applicable Zoning Provisions it states that "The Retaining Wall will be located within the 40 foot front setback and 10 foot side setback required in the VC District by Section 3.10 (Table of Dimensional Controls). In accordance with the definition of the term "structure" in Article XI of the Zoning Ordinance, retaining walls less than 42" (3.5 feet) are not structures and therefore not subject to the setback requirements." The front setback is 75-feet, not 40 feet, and the retaining wall is greater than 42" and therefore is subject to the setback requirements.

Could you please correct and/or clarify the three bulleted items listed above in the original variance application, and then resubmit the corrected pages only via e-mail to me? We will continue our review of the CZC Permit Application and will schedule the variance and special exception case with the ZBA upon receipt of the fees for the CZC Permit Application. Please do not hesitate to contact me if you have any questions.

Thank You,

Scott A. Hazelton, CPESC
Town of Sunapee
Highway Director/Zoning Administrator
621 Route 11
Sunapee, NH 03782
Office Phone: (603) 763-5060
E-mail: Scotth@town.sunapee.nh.us

From: Philip Hastings <hastingsp@cwbp.com>
Sent: Friday, February 3, 2023 4:19 PM
To: Scott Hazelton <Scotth@town.sunapee.nh.us>
Cc: Michael Marquise <Michael@town.sunapee.nh.us>; Town Manager <manager@town.sunapee.nh.us>; Allyson Traeger <allyson@town.sunapee.nh.us>; Kris McAllister <assessor2@NewLondon.NH.gov>
Subject: [EXTERNAL]FW: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

You don't often get email from hastingsp@cwbp.com. [Learn why this is important](#)

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Scott,

My assistant Maureen passed your email along to me. I was in a rush to get to another meeting when I dropped the variance application off yesterday. I probably should have taken more time to explain the situation to you.

In any event, Goodhue Sunapee Real Property, LLC is in the initial stages of redeveloping the property at the corner of Route 11 and Cooper Street into a 5,400 s.f. showroom. The project will require a variance from the Zoning Ordinance to permit the construction of a retaining wall in excess of 42" in height within the front and side setback. I believe that the variance application as submitted is substantially complete and the appropriate fees have been paid. If the ZBA grants the variance and no other zoning relief is required, the applicant will then seek site plan approval from the Planning Board. It is not at this time applying for any other building, demolition or other permit from the Town of Sunapee, and it is not clear to me why the applicant would be required to pay application fees for permits that it is not at this time seeking. I submitted the CZC Permit Application at your request to expedite the processing of the variance application. We are happy to provide additional information as may be required to ensure that this matter is duly placed on the ZBA's agenda for the March 2 hearing. Please let me know what specific information you are looking for and direct me to the relevant regulations setting forth those requirements.

As to the NHDES Shoreland Permit, we are aware than one may be needed in connection with the new construction. I am not aware of any tree cutting on site but I will ask my client for more information.

I look forward to hearing from you next week.

Philip M. Hastings, Esquire
Cleveland, Waters and Bass, P.A.
Two Capital Plaza, 5th Floor
P.O. Box 1137
Concord, NH 03302-1137
Telephone: 603-224-7761 x1069
Direct Dial: 603-229-1069
Fax: 603-224-6457

With offices also in New London and Dover, New Hampshire.

Visit the CWB website at www.cwbp.com

Affiliated with Granite State Title Services, LLC, www.granitestatetitle.com



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From: Maureen Rowley <rowleym@cwbp.com>
Sent: Friday, February 3, 2023 12:57 PM
To: Philip Hastings <hastingsp@cwbp.com>
Subject: FW: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

Hi Phil,
Please see below.
Maureen

From: Scott Hazelton <Scotth@town.sunapee.nh.us>
Sent: Friday, February 3, 2023 12:36 PM
To: Maureen Rowley <rowleym@cwbp.com>; Michael Marquise <Michael@town.sunapee.nh.us>; Town Manager <manager@town.sunapee.nh.us>; Allyson Traeger <allyson@town.sunapee.nh.us>; Kris McAllister <assessor2@NewLondon.NH.gov>
Subject: Re: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

Good Morning Maureen:

I do not have Attorney Hastings e-mail address. Therefore, we request that you forward this e-mail directly to him.

At this point, there appears to be missing information on the Certificate of Zoning Compliance (CZC) Permit Application form and this will delay our review of the document and its supporting information. Additionally, the CZC Permit Application requires payment to the Town in the amount of \$3,635 based on the applicable Permit Fees that are included in the CZC permit application document. The fees have been calculated using the Permit Fees schedule and are as follows:

- Commercial Project (\$240 + (\$0.60*5400 square foot new building)=\$3,480
- Other Fees - Demolition Permit = \$0 (rebuilding a new structure)
- Land Disturbance = \$50 plus security bond
- Permit to Excavate in Highways/Streets = \$75
- Sign Permit = \$30

The total cost of the CZC Permit Application is \$3,635. We can begin our review of the CZC Permit Application and supporting documents upon receipt of the check. If all necessary information has been provided with the application, we will add the variance application to the March 2, 2023, agenda.

In addition, it appears that a NHDES Shoreland Permit is needed for this project, and if the owner never submitted a tree cutting permit for the project last year an after-the-fact permit for the trees that were removed from the parcel may be necessary. I will review the property file and determine if one was received.

Please do not hesitate to contact me if you have any questions.

Kind Regards,

Scott A. Hazelton, CPESC
Town of Sunapee
Highway Director/Zoning Administrator
621 Route 11
Sunapee, NH 03782
Office Phone: (603) 763-5060
E-mail: Scotth@town.sunapee.nh.us

From: Maureen Rowley <rowleym@cwbp.com>

Sent: Friday, February 3, 2023 11:21 AM

To: Zoning <zoning@town.sunapee.nh.us>

Subject: [EXTERNAL]Goodhue Sunapee Real Property LLC - Certificate of Zoning Compliance Permit Application

You don't often get email from rowleym@cwbp.com. [Learn why this is important](#)

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Good Morning,

As requested by Philip Hastings, attached is a Permit Application for Goodhue Sunapee Real Property LLC with attachments. Please contact Attorney Hastings if you have any questions.

Kind regards,

Maureen

Maureen Rowley
Legal Assistant
CLEVELAND, WATERS AND BASS, P.A.
Two Capital Plaza, 5th Floor
P.O. Box 1137
Concord, NH 03302-1137
Tel: (603) 224-7761 / (800) 370-7761, ext. 1063
Fax: (603) 224-6457
Email: rowleym@cwbp.com

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Via Email

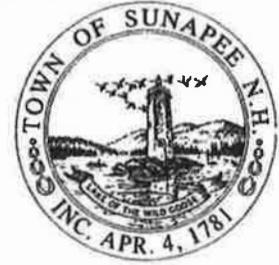
Certificate of Zoning Compliance (CZC) Permit Application

TOWN OF SUNAPEE

23 Edgemont Rd., Sunapee, New Hampshire 03782
(603) 763-3194 - Email zoning@town.sunapee.nh.us
Website www.town.sunapee.nh.us

Thank you for applying for a permit! A Certificate of Zoning Compliance (CZC) is required for most construction in Sunapee (see 1-8 below). Your project will be reviewed to make sure it meets the town's zoning regulations. All references (in parentheses and underlined) refer to a specific regulation in the Zoning Ordinance. The complete ordinance is available on our website and at the town office. **NEXT STEP:** After staff review, the application will be moved to the next Board of Selectmen's meeting for final approval. **PICK UP:** Your permit will be ready to pick up starting the afternoon after the Board of Selectmen meeting. If you want it mailed to you, please let us know. **EXPIRATION:** Permits will expire in 12 months if no earnest or substantial effort has been made to carry out the construction or alteration (8.23 & 8.25). **QUESTIONS?** Please contact the Zoning Administrator anytime with questions.

FOR TOWN USE ONLY	
DATE APPLICATION REC'D:	2/3/23
FEE PAID: \$3635	METHOD: chg
ZONE:	RES.
PARCEL ID:	104-084
PERMIT APPROVAL #	CZC 23-4180
Revised 7/1/2019	



WHEN IS A CZC PERMIT REQUIRED? A CZC is required prior to beginning any of the following activities (8.21):

- 1. Will a new structure be constructed or installed? YES NO
- 2. Will an existing structure be expanded? YES NO
- 3. Will a dwelling unit be added to an existing structure? YES NO
A "dwelling unit" is like an apartment or additional house. It includes independent cooking, sleeping, and sanitary facilities. (X1)
- 4. Does the project involve a structure owned by the Town of Sunapee (municipal building)? YES NO
- 5. Will a bedroom or kitchen be added to an existing structure? YES NO
- 6. Will an existing structure be demolished? YES NO
- 7. Did the Planning Board approve a Site Plan for this proposal? YES NO
 IF YES, attach a copy of the board's Notice of Decision.
- 8. Does the project involve interior renovations in excess of \$25,000? YES NO

DESCRIPTION

PROPERTY STREET ADDRESS: 1282 Route 11 Lot Size: 31,32566 acres

OWNER(s) Name(s): Goodhue Sunapee Real Property LLC

Mailing Address: P.O. Box 853, Wolfeboro, NH 03894

Email: cody.g@goodhueboat.com Phone #: 603-707-9287

Preferred method of contact: Phone Mail E-mail

NAME OF BUSINESS at this location (if applicable): NONE

TYPE OF PROPERTY:

Single-Family
 Two-Family

Multi-family (3+ units)
 Commercial

Municipal
 Other _____

NAME OF RIVER / LAKE / POND abutting property (if any): Other Pond Brook (near)

Was any decision made by the Planning or Zoning Board regarding this project? YES NO
 IF YES, attach a copy of the board's Notice of Decision.

WRITTEN DESCRIPTION of proposed project: Construction of 5,400 sq ft show room

Estimated value of construction \$ TBD Estimated start date: TBD

WATER & SEWER

9. FOR PRIVATE SEPTIC: Will this project result in increased septic flow or water utilization? YES NO
 IF YES, attach a copy of your State septic system approval. Contact State of NH Department of Environmental Services with questions at (603) 271-2147.

10. FOR PUBLIC SEWER OR PUBLIC WATER:

- a. Will this project involve any new residential structure, or any change in living space to a residential building? (do not include a typical shed or garage, unless there is living space within it) YES NO
- b. Will this project involve any hook-up, disconnect, or demolition for a structure on the town water or sewer system? YES NO

IF YES, attach a copy of your Permit Connection Approval from the Sunapee Water & Sewer Department. Forms are available at the town office. Contact the Sunapee Water and Sewer Department with questions at (603) 763-2115, sunws@town.sunapee.nh.us.

DIMENSIONS & MEASUREMENTS – This section is ONLY for new structures or expanding structures, including any change in the building envelope, height or footprint. CHECK HERE IF NOT APPLICABLE

11. DRAWINGS: Attach a copy of any drawings, floor plans, or elevations showing dimensions and measurements.

12. Dimensions:

Current Structure
Maximum height: _____ ft.
Square footage: _____ sq. ft.

Proposed Structure
Maximum height: 40 ft.
Square footage: 5,400 sq. ft.

DIMENSIONS & MEASUREMENTS – This section is ONLY for new structures or expanding structures, including any change in the building envelope, height or footprint. CHECK HERE IF NOT APPLICABLE

13. What are the setback measurements for the proposed structure?

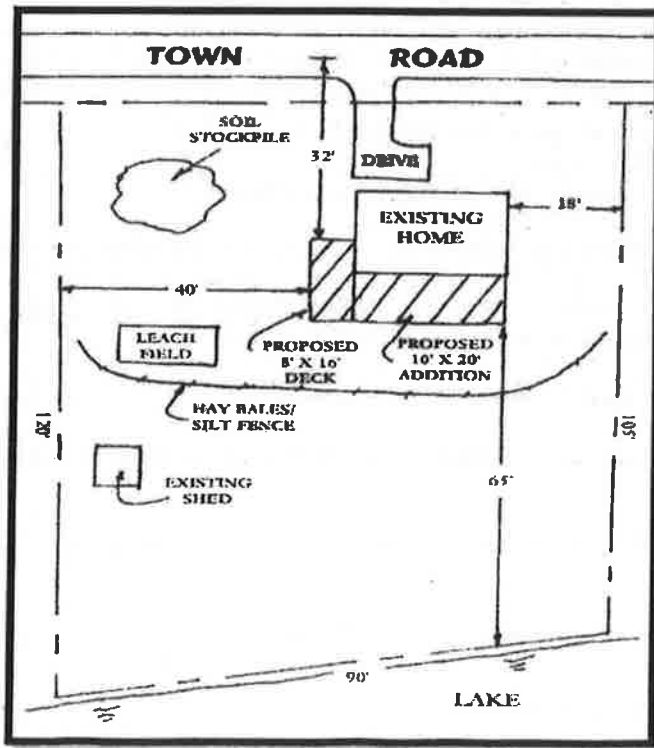
See Page 6 for Setback Requirements.

How to measure: Measure at right angles, between the property boundary and the furthest point of the structure.

	<u>Current Structure</u>	<u>Proposed Structure</u>
To center of road	_____ ft	<u>745</u> ft
Side 1	_____ ft	<u>740</u> ft
Side 2	_____ ft	<u>< 10</u> ft (retaining wall)
Rear property line	_____ ft	<u>710</u> ft
Waterbody	_____ ft	<u>750</u> ft

14. **SURVEY:** If you have a Survey of the property, please attach a copy.

15. **ATTACH A SITE SKETCH / PLOT PLAN DRAWING.** See sample below.



ABOUT HEIGHT RESTRICTIONS IN SUNAPEE

- Definition of "Maximum Structure Height": The vertical distance measured from the lowest ground elevation around the structure to the highest level of the roof (excluding cupolas, weathervanes, etc.). (XI)
- 40-feet is the maximum structure height allowed in all districts. (3.10)
- The maximum height of any windowsill or roof eaves shall be no more than 30 feet above the grade directly below it. Windows or eaves located in roof appendages such as cupolas or skylights shall be excluded from this ordinance. (3.40.1)
- If a structure is allowed a reduced side or rear setback due to inadequate lot size (see chart on p. 6), the portion of the structure in the area of reduced setback shall have a maximum height of 25'. (3.10)

ZONING QUESTIONS

16. **WETLANDS:** Will any wetlands be disturbed or impacted? YES NO
 IF YES, attach a copy of your State Wetlands permit. NOTE: only certified specialists can delineate wetlands.
 Contact State of NH Department of Environmental Services with questions at (603) 271-2147.
17. **DRIVEWAY:** Will a new driveway be altered or constructed? YES NO
 IF YES, attach a copy of your town Driveway Permit approval or application. Applications are available at the town office and on the town website.
18. **ROUTE 11, 103, 103B:** Is this a new construction project on Routes 11, 103 or 103B? YES NO
 Note: see the requirements for maintaining or planting a 25-foot vegetative buffer. (3.40.o)
19. **RETAINING WALL:** Will this project involve a retaining wall over 42" high? YES NO
 Note: retaining walls over 42" must meet all setback requirements. (3.40.i)
20. **STEEP SLOPE:** Will any construction take place on a slope that exceeds 25% and has an elevation change of more than 20-feet? (3.40.l) YES NO
21. **1,000 SF & 15% SLOPE:** Will 1,000 square feet of land be disturbed on a slope greater than 15%? YES NO
 IF YES, attach an Erosion Control Plans (3.40.n). Contact the Zoning Administrator with questions.
22. **100,000 SF IMPACT:** Will 100,000 square feet of land be cleared or disturbed? YES NO
 IF YES, attach a copy of your State of NH Alteration of Terrain Permit, and a copy of an engineered Erosion Control Plan. (3.40.n). Contact the Zoning Administrator with questions.

SHORELINES OVERLAY DISTRICT – This section is ONLY for properties located within 250-feet of a public water body. Public Water Bodies include: Sugar River, Lake Sunapee, Ledge Pond, Mountain View Lake, Otter Pond and Perkins Pond.

CHECK HERE IF NOT APPLICABLE

23. **FLOODPLAIN:** Is any portion of this property located in the 100-year FEMA floodplain? YES NO
 Note: this application will be reviewed per Sunapee Floodplain Development Ordinance. If you have a LOMA (Letter of Map Amendment) showing the project is outside the floodplain, you may attach a copy to this application.
24. **STATE PERMIT:** Have you applied or received a permit from the State for this project? YES NO
 IF YES, attach a copy. NH DES Permit # _____
 Contact State of NH Dept. of Environmental Services with questions at (603) 271-2147.
25. **LAND DISTURBANCE / SHORELINES:** Will any Land Disturbance, Construction, Filling, Grading or Dredging occur within 250-feet of the lake, pond or river? YES NO
 IF YES, attach a copy of your Land Disturbance Permit and Erosion Control plans. (4.33.B.8.a.i). Land Disturbance Permit applications are available at the town office and on the town website.
26. **150-FOOT WOODLAND BUFFER:** Will any trees or vegetation be removed within 150-ft of the lake, pond or river? YES NO
 IF YES, attach a copy of a Tree Cutting & Vegetation Removal permit. Permit applications are available at the town office and on the town website.
27. **50-FOOT WATERFRONT BUFFER:** Will this project involve any parking area or any structures within 50-feet of the lake, pond or river? (3.40.c) YES NO
28. **LOT COVERAGE:** What percentage of the lot will be covered? SEE PAGE 6 for restrictions.

	Current	Proposed
Impermeable Surfaces (not allowing water to pass through)	_____ %	59.4 %
Permeable Surfaces (having pores or openings that permit water to pass through)	_____ %	_____ %
TOTAL LOT COVERAGE	_____ %	63.2 %

IMPORTANT INFORMATION FOR PROPERTY OWNERS

About State Building Codes:

Property owners often ask "do I have to build things 'to code' in New Hampshire?" Yes! The State of New Hampshire has adopted state-wide building codes that are in effect in all towns and cities (see NH RSA 155-A, as may be amended). There are codes for electrical, plumbing, construction, mechanical, energy conservation, etc. Although the Town of Sunapee does not offer local inspection services, plan review, or enforcement of State building code compliance, we recommend that you contact your contractor or other professional to assist you with questions related to building codes. You may direct questions to the New Hampshire Department of Safety, Bureau of Building Safety & Construction, (603) 223-4289, fmo@dos.nh.gov.

What is your Parking & Traffic Plan during construction?

Sunapee's Town Parking Ordinance prohibits parking on the road. Also, parking off the side of a road could cause damage to the Town's right-of-way, drainage ditches and infrastructure. The person who causes damage may be liable. In addition, no road may be blocked without first getting permission from the Police Department. To make special parking arrangements during construction, communication with the police and highway department about your plan is key. Contact Info: Police Department (603) 763-5555 / david.cahill@sunapeepd.com; Highway Director (603) 763-5060 ScottH@town.sunapee.nh.us.

About Dig Safe®:

Be sure to contact Dig Safe® before you or your contractor does any digging, even for small projects. There are state laws and common-sense reasons why you must contact Dig Safe before you dig. Dig Safe® has a system to notify utility companies that might have underground services, so those companies can flag the utilities before someone starts digging. For more info, call 811 or visit www.digsafe.com.

About Energy Code:

Did you know that the New Hampshire Public Utilities Commission (PUC) will review your proposal to make sure it meets with the State's energy code? They will review the insulation factors, types of window ratings, etc. See RSA 155:A10-a (as may be amended). To take advantage, contact the PUC. For more info, contact (603) 271-6306, e-mail EnergyCodes@puc.nh.gov or website <http://www.puc.state.nh.us/energycodes/residential.htm>.

About Asbestos:

The State of New Hampshire has established certain requirements for licensing asbestos contractors and addressing asbestos hazards. Many homeowners have asbestos-containing materials in their homes and there are requirements if a contractor or a homeowner disturbs or removes asbestos. The State has rules about where you can dispose of or how to get rid of materials that have asbestos. For more info, call the State of NH's Asbestos Management Division at (603) 271-1370 or visit www.des.nh.gov or www.epa.gov/asbestos.

SIGNATURE(S) & AUTHORIZATION

ALL OWNERS MUST SIGN THIS APPLICATION

BY SIGNING BELOW, I certify that the representations contained herein are true and accurate to the best of my knowledge and I hereby acknowledge that the town is relying on my representations contained within this application to evaluate whether to issue the permit or certificate. I acknowledge that in evaluating this request, the town is not independently verifying or certifying any representations made by the applicant. I hereby grant permission for site visits and inspections by zoning officials(s).

Owner Signature: Philip M. Hastings Printed Name: Goodline Sunapee Real Property LLC Date: 2/3/23
Owner Signature: _____ Printed Name: _____ Date: _____

IF USING AN AUTHORIZED AGENT: If the property owner wishes to authorize someone else to apply on their behalf, they must submit a letter attached to this application. The authorization letter must be signed by all property owners and contain the following statement: "(name/company/contact info) has authority to act on my behalf regarding the property and this application and is authorized to submit, amend, alter or supplement this application."

Authorized Agent Signature: Philip M. Hastings Printed Name: Philip M. Hastings Date: 2/3/23

THANK YOU FOR COMPLETING THE APPLICATION!

REFERENCE CHART

(3.10 & 3.20)

Requirement	Village Comm.	Village Residential	Mixed Use I	Mixed Use II	Mixed Use III	Residential	Rural Residential	Rural Lands
Minimum Lot Size	0.5 Acres	0.5 Acres	0.5 Acres	1.0 Acres	1.5 Acres	1.0 Acres	1.5 Acres	3.0 Acres
Maximum Residential Density (du=dwelling unit)	1du 10,000 Square Ft.	1du 10,000 Square Ft.	1du 0.5 Acres	1du 0.5 Acres	1 du / 1.5 Acres	1du 1.0 Acres	1du 1.5 Acres	1du 3.0 Acres
Minimum Road Frontage	75'	75'	75'	75'	100'	75'	100'	150'
Minimum Front Setback (Rt. 11,103, 103B)	75'	75'	75'	75'	75'	75'	75'	75'
Minimum Front Setback (All other roads as defined in Article XI)	40'	40'	40'	40'	50'	50'	50'	75'
Side & Rear Setbacks for Lots Meeting or exceeding minimum lot size or Lots which are not Pre-Existing	10'	15'	15'	25'	25'	15'	25'	50'
Side & Rear Setbacks for Pre-existing Lots Below Minimum Size	10'	10'	10'	15'	15'	10'	15'	25'
Maximum Lot Coverage	80%	60%	80%	50%	40%	50%	40%	30%
* Maximum Structure Height *	40'	40'	40'	40'	40'	40'	40'	40'
<i>* If a structure is allowed a reduced side or rear setback due to inadequate lot size, the portion of the structure in the area of reduced setback shall have a maximum height of 25'.</i>								
Requirement	Village Comm.	Village Residential	Mixed Use I	Mixed Use II	Mixed Use III	Residential	Rural Residential	Rural Lands
MINIMUM LOT SIZE (FOR PROPERTIES IN A SPECIAL OVERLAY DISTRICT):								
1) Shoreline	1.0 Acres	1.0 Acres	1.0 acres	N/A		1.0 Acres	1.5 Acres	1.5 Acres
2) Aquifer	2.0 Acres	2.0 Acres	2.0 Acres	2.0 Acres		2.0 Acres	2.0 Acres	2.0 Acres
3) Wetlands	1.5 Acres	1.5 Acres	1.5 Acres	1.5 Acres		1.5 Acres	1.5 Acres	1.5 Acres
MAXIMUM LOT COVERAGE (FOR PROPERTIES IN A SPECIAL OVERLAY DISTRICT):								
1) Shoreline Impermeable	60%	30%	N/A	N/A		30%	25%	20%
Shoreline Permeable & Impermeable combined	80%	60%	N/A	N/A		50%	40%	30%
2) Aquifer	20%	20%	20%	20%		20%	20%	20%
3) Wetlands	0%	0%	0%	0%		0%	0%	0%

PERMIT FEES

THERE IS NO CHARGE IF THE PROJECT ONLY INVOLVES INTERIOR RENNOVATIONS.

To meet this requirement, the interior renovation may not include adding bedrooms, kitchens or dwelling units.
 NOTE: The Town does not require a permit application for interior renovations under \$25,000. (VIII.8.21)

RESIDENTIAL PROJECTS - (single family and two-family dwellings):

New Home - Including manufactured housing and prefabricated housing, etc. Finished space only.
 Be sure that you also add an additional fee below for each shed, deck, porch or garage.

..... Up to 2000 S/F	\$600	\$	_____
..... 2000 – 5000 S/F	= \$1200	\$	_____
..... 5000 S/F	= \$1,800	\$	_____

Residential Additions or Alterations - This section includes additions, expansion of footprints, or any project that involves the adding of a bedroom, kitchen or dwelling unit.

..... Up to 500 S/F	= \$180	\$	_____
..... 500 S/F+	= \$360	\$	_____

Sheds / Decks / Porches/Permanent Pools \$60 / each \$ _____

Garages \$300 \$ _____

After-the-Fact Zoning Compliance Permit - Residential or other non-commercial projects .. \$300 \$ _____

A regular zoning compliance application must also be submitted with this permit.

COMMERCIAL, INSTITUTIONAL, MULTI-FAMILY RESIDENTIAL (3+ Unit), & MUNICIPAL PROJECTS

(including convalescent homes, nursing home, assisted living and other multi-person dwellings):

New Structures, Accessory Structures and Additions or Alterations that involve a change of footprint

.....	\$240 + \$.60 S/F	\$	_____
-------	-------------------	----	-------

Alterations that do not involve a change of footprint

(SF will only apply to any additional floor area created by or occupied as a result of the alteration.)

This section includes projects that went to Site Plan, projects that do not involve a change of footprint, or any project that involves the adding of a bedroom, kitchen or dwelling unit.

.....	\$120 + \$.60 S/F	\$	_____
-------	-------------------	----	-------

After-the-fact Zoning Compliance Permit \$330 \$ _____

A regular zoning compliance application must also be submitted with this permit.

OTHER FEES

Alternative Energy Systems: Solar collectors, roof mounted energy producing systems, etc..... \$112.50 \$ _____

Alternative Energy Systems: Tower Mounted systems \$225 \$ _____

Demolition Permit (unless associated with rebuilding projects)..... \$75 \$ _____

Driveway Permit \$75 \$ _____

Land Disturbance Permit \$50 (plus security) \$ _____

Meteorological Tower \$225 \$ _____

Permit to Excavate, Highways/Streets \$75 \$ _____

Sign Permit..... \$30 \$ _____

Telecommunications - Accessory Structures for Telecommunications Use \$300 \$ _____

Telecommunications Towers \$1,500 \$ _____

Temporary Structures, such as trailers and container boxes used for storage, construction offices,

temporary living for use more than 60 consecutive days..... \$75 each unit \$ _____

Tree Cutting Permit..... \$75 \$ _____

TOTAL.....AMOUNT DUE: \$ _____

Make check payable to Town of Sunapee.

Input Regarding Planning Board Meeting June 8, 2023

Case # SPR 23-03
Parcel ID: 0104-0084-0000
Site Plan Review

Submitted by Cynthia Currier
Currier Properties
1004 Lake Avenue
Georges Mills, NH 03751

I am unable to attend or zoom for this meeting. I respectfully request that you share my submission, please.

There are some concerns regarding this development.

1. Having 30 spaces to accommodate trucks and trailers who launch their boats and then need to retrieve them. Could be 60 different entrances/exits to Rte 11.

This will necessitate lighting that would directly impact the tenants on my property since boats do not always return during daylight hours. My tenants work, and do not need that light coming into their apartments.

2. Unsafe traffic Conditions:

The traffic is already heavy during the summer and creates very lengthy waits at the blinker to get out on Rte 11. With boats and trailers going in and out of this facility onto Rte 11 this is a problem to add to an already dangerous situation. Cars coming into Georges Mills do not adhere to the speed limit and already make it difficult to get out of the post office and Lake Avenue safely. This is like creating the perfect storm. Adding a full traffic light might help.

3. Deed changed

There were reasons the original deed prohibited that this space be used as a commercial space. it is unfortunate that Evelyn Sargent's wishes could not have been respected.

4. Others, I know, will be addressing concerns for nearby water quality.

Respectfully submitted,



Cynthia Currier
Currier Properties

Scott,

Would you please make sure this gets to the Planning Board members as we will not be able to attend this meeting. Thank you

CASE #: SPR 23-03

Parcel ID: 0104-0084-0000

Site Plan Review

Boat Showroom

1282 Route 11

Goodhue Sunapee Real Property, LLC

Please consider our concerns

As a resident of Lake Avenue in Georges Mills, we are concerned with a few items:

Due to previous cutting of all the trees on the lot, by this company, there is a great danger of run off down the steep slope on Cooper Street side of the lot into Otter Pond Brook then going directly into Lake Sunapee.

This location is where **salmon spawn** every year as well, so may have a great environmental impact on that species.

Requesting 33 parking spots, I assume this is to increase parking to clients renting boats?

This would cause additional run off of anything stored above, be it oil, grease or?

Are those rentals going to be stored in this new building?

Is there a fee to launch these rental boats at a town owned launch when they are for commercial use? It certainly will increase Georges Mills harbor traffic launching these boats

Will there be servicing of these rentals allowing oil and other hazardous to enter the run off?

Regarding traffic entering State Highway 11. NH DOT needs to look at this. This is already a dangerous area for residents coming onto Rt 11 from Lake Avenue and the Georges Mills Post Office, as the view is hampered by the curve. The flashing yellow light doesn't seem to slow down any of the traffic on Rt 11. Many of us opt to go to John Avery Lane to gain access to Rt 11 safely.

Thank you for taking the time to air our concerns .

Vicki & Linc Jepson

1072 Lake Ave

Georges Mills NH

Mr Hazelton,

I am unable to attend your meeting regarding Goodhue Boat company, either in person or by zoom, but I am concerned about this kind of development at this place, and the effects it may have on Otter Pond and Lake Sunapee.

I have been a seasonal resident on Oak Ridge since 1952 and have greatly appreciated the rural atmosphere of Sunapee, and we are increasingly concerned about development in the area. The watershed area of both lakes is in great condition, but people in the area are working hard to maintain its value because of threats like this.

I trust that you and others in town management want to maintain this value, making Sunapee a great place to live. New businesses are of value to some people, but can be established elsewhere. The value to the whole watershed is of far more value to many more people.

Sincerely,
Tina Larochelle

Hi

I was just informed there is a zoning meeting about a boat showroom being built on corner of copper & rte 11
Case SPR-23-03
Parcel 0104-0084-0000

That is very close to the lake. It sits up on a hill

I am concerned about runoff contaminating the lake

The traffic increase on the corner

The parking, as cooper street gets backed up in the summer

The increase in boats using the lake, increasing the pollution into the lake

The lake is the towns drinking water, it should be protected.

I am unable to attend the meeting as I am working that nite

Please protect this area, it is home to the loons, which may leave if disturbed by all the boats

Keep the lake clean

Thanks

Cathy LaRose

Knapp

Emily Wrenn

Thu 6/8/2023 10:35 AM

To:Emily Wrenn <emily@town.sunapee.nh.us>

Thank you for this very important alert to a planning board mtg that will heavily impact the village of Georges Mills and our surrounding precious bodies of water.

I will be shocked if this project is approved by our Select and Planning Board members.

As a resident right up the hill from this property traffic, speed, noise, plus have been of great concern over the years. We are between two highway exits/entries with multiple tractor trailer trucks and numerous other vehicles careening through the village 24 hours a day. To add another element of speed, parking, traffic, pollution, personal entitlement, potential disrespectful behavior, trailered vehicles entering/ exiting this confined property/space, plus would be a flagrant disregard of our beloved area and its residents.

The visual I have is total chaos when out of stater are chomping at the bit to get their boats either at this property or down at Sargents Marina. Boats and trailers everywhere. Hmmm...will police be on hand???

My hope is that the Town Manager and Police Dept. will be in attendance.

Thank you,

S.Knapp

On Mon, Jun 5, 2023 at 6:51 PM Emily H Monroe <emilyhmonroe@gmail.com> wrote:

Dear Members and Friends: We want to alert you to the Sunapee Planning Board Hearing [this Thursday 6/8 at 7:00 PM](#) at Sunapee Town Hall at [23 Edgemont Road](#).

Last year, the Goodhue Boat company, purchased the lot at the corner of Route [11](#) and [Cooper street](#), and shortly thereafter the lot was clearcut of trees. They now intend to build a 5,400 sf retail boat showroom and parking lot with 33 parking spaces, among other construction. As this property falls within the Shoreland Overlay District, and there are numerous state and town requirements which exist to protect the quality of nearby water bodies, a development of this type warrants scrutiny. The construction involves the creation of significant impervious surfaces which do not absorb rainwater and therefore create increased runoff of salt, and nutrients that could end up in our water bodies. The property's slopes appear steep, exacerbating the issue. Much of the runoff from Route 11 and adjacent parking lots end up in basins with culverts leading to Otter Pond or elsewhere. Unrelated to water quality, traffic in this already busy intersection, directly across from the Georges Mills General Store, will increase.

[Here is a link to the proposed construction.](#)

We encourage all who are able to attend the Planning Board Meeting to express your views. If you cannot make it in person, you may attend via Zoom at this link: <https://us06web.zoom.us/j/85682388560>.

Thanks.

Bill & Stu

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Re: [EXTERNAL]RE: [EXTERNAL][Sunapee NH] Goodhue Marine (Sent by Charles Tremblay, tremblay50@comcast.net)

Michael Marquise <Michael@town.sunapee.nh.us>

Sat 7/8/2023 4:38 PM

To:tremblay50@comcast.net <tremblay50@comcast.net>

Cc:Allyson Traeger <allyson@town.sunapee.nh.us>

Hi -

We will see that the information gets to the Planning Board before next Thursday's meeting.

-Michael

On 7/8/2023 7:51 AM, tremblay50@comcast.net wrote:

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Michael,

Thanks for getting back to me on this.

If there is no Town rule/bylaw/ordinance prohibiting operating a business on public facilities, then no don't include it. If it is allowed, or if they have a special permit to do this, Goodhue is within their rights to operate like this, and the rest just have to live with it. I do know the Fentons have a contract with the Town and pay a fee to run their business from the Town docks, Goodhue may have the same in place.

If none of this is in place, then yes include it with this reply as well. Upon further thought I'm not sure how, or if, their actions could impact a zoning / planning decision if they meet all the rules, but it certainly appears they are not making any attempt to be good neighbors.

Thanks,
Chuck Tremblay

From: Michael Marquise <michael@town.sunapee.nh.us>

Sent: Friday, July 7, 2023 10:43 AM

To: tremblay50@comcast.net

Subject: Re: [EXTERNAL][Sunapee NH] Goodhue Marine (Sent by Charles Tremblay, tremblay50@comcast.net)

Hi Mr. Trembley -

We can add your comments to our on-line agenda for next week's meeting if you wish. It will then be an official part of the record.

Let me know.

-Michael

On 7/6/2023 9:04 PM, Contact form at Sunapee NH wrote:

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello mmarquise,

Charles Tremblay (tremblay50@comcast.net) has sent you a message via your contact form (<https://www.town.sunapee.nh.us/user/32/contact>) at Sunapee NH.

If you don't want to receive such e-mails, you can change your settings at <https://www.town.sunapee.nh.us/user/32/edit>.

Message:

Hi,

I'm not sure who to contact regarding Goodhue Marine's operations in Georges Mills with regards to their request for the new showroom.

I have been in the area and regularly see Goodhue using the Town Dock to check in boats. I'm not sure, but do the town ordinances allow them to do this?

Earlier this week I was there and waiting to pull out a boat. Goodhue had 2 pontoon boat rentals tied up to the public dock and being check in by their personnel. There was person launching a pontoon boat, who had no place to tie up so was tied up best they could in the ramp. The next person was launching a jet ski. There was no place to tie up, so they had someone stand on the side of the ramp holding a rope on the jet ski. The next person had a full-size boat and couldn't launch so we went next with our small Boston Whaler and were able to get out. There were 3 other full-size boats waiting to launch or pick up, with Goodhue tying up the 3 potential public spaces, resulting in the ramp being blocked.

Talking with one of the Lake Hosts this is a common occurrence there.

I understand they are requesting the planning board approve a new showroom up the hill. If this is the kind of poor neighbor they are, I would hope this is denied.

Thanks for listening,
Chuck Tremblay
47 Upper Skijor Steppe
Sunapee
617-794-1400 (cell)

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[EXTERNAL]Re: [EXTERNAL]Goodhue planning board meeting 7/13 Case SPR 23-03

vjepson@comcast.net <vjepson@comcast.net>

Sun 7/9/2023 11:23 PM

To: Allyson Traeger <allyson@town.sunapee.nh.us>

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Thank you. Congrats on new job

On Jul 9, 2023 6:05 PM, Allyson Traeger <allyson@town.sunapee.nh.us> wrote:

Hi Vicki,

We will see that the information gets to the Planning Board before next Thursday's meeting.

Best,

Allyson Traeger
Land Use and Assessing Coordinator
Town of Sunapee
23 Edgemont Rd, Sunapee, NH 03782
Cell: (603) 558-7829

From: V jepson <vjepson@comcast.net>

Sent: Saturday, July 8, 2023 10:07 AM

To: Allyson Traeger <allyson@town.sunapee.nh.us>

Subject: [EXTERNAL]Goodhue planning board meeting 7/13 Case SPR 23-03

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Allyson,

Since Scott is no longer there, would you please see that this reaches Mike Marquise and all of the Planning Board members and alternates prior to the 7/13 meeting? I tried through the Town website and would not accept.

Thank you for your assistance

Vicki Jepson

we sent the letter at the end of this email to be presented at the June 8th Planning meeting. It expressed our concerns along with these new additional ones listed here:

**Current Sunapee police department two complaints below Goodhue Marina
With increased rentals if new building and 33 parking spots, will this issue with docking
escalate?**

6/30/2023

11:12:28 AM

23-002503

Parking Violation

RP complained of two boats belonging to **Goodhue Marina** parked at town dock for over 3 hours
Georges Mills Harbor

Services Rendered

Spoke with manager and advised town docs are not for business use and need to be made available to other boaters.

Dock may be used for short periods of time for customers to load and upload.

Advised they have been warned in the past and would like issues to not persist otherwise, other steps maybe taken

Sunapee Police Department

7/3/23

11:19 am

23-002589

Road Hazard/Obstruction

Heavy gravel and dirt runoff from **Goodhue Marina** property in and around boat launch

Services rendered

advised Sunapee highway department of potential concerns

Goodhue clear cut this property and the surrounding area is not stable enough to stop run off.
Has the clear cut issue been resolved?

Reported Alleged Violation

Land Resources Management File Number: 2021-02737

Subject Property: 1282 Route 1, Sunapee, Tax Map #104, Lot #84

The New Hampshire Department of Environmental Services (NHDES) Land Resources Management Program has received a complaint of possible violations on your property. The complaint alleges that you, or your agent, have removed vegetation beyond permissible limits within the 250-foot shoreland setback to Otter Pond Brook without a permit or proper authorization from NHDES.

Discrepancies:

Pages #s referred to are from the 6/8/23 Planning Board meeting

I called DES (no pending permits as of 6/7/23) even tho application said 'pending'

Page 9 of planning board meeting minutes says 'pending' on application. Has anyone verified that they have actually been applied for?

Page 2 line 63-66 states may have oil, but **won't be changing oil**

Page 25 plans show a **service** area

Page 27 Signage shows **Goodhue Boat Company Sales & Service**

Page 10 of planning board shows theirbMay 11th letter showing constructing a 5400 SF '**boat showroom building**'

Page 36 says reviewing variance application indicates is '**a retail showroom**' vs a '**retail boat showroom**'.

This document asks **what type of showroom this will be developed into?**

Where is the answer?

Any chance that this could end up a **Goodhue Marina & Firearms like their Moultonborough location?**

addressing traffic issues : Accident at flashing light about noon on 6/9/23 one day after the planning meeting. This is where Springfield and Cooper street meet, right alongside the proposed new marina building adding a potential additional 33 vehicles coming and going. This is already a very dangerous intersection, with little visibility.

Pictures I took of the 3 car accident on Route 11 at the intersection of Cooper & Springfield Road. Needs to be fully addressed with NH DOT, possible traffic light, even without the additional traffic if this is approved..

Our 6/7/23 letter to the planning board

Scott,

Would you please make sure this gets to the Planning Board members as we will not be able to attend this meeting. Thank you

CASE #: SPR 23-03

Parcel ID: 0104-0084-0000

Site Plan Review

Boat Showroom

1282 Route 11

Goodhue Sunapee Real Property, LLC

Please consider our concerns

As a resident of Lake Avenue in Georges Mills, we are concerned with a few items:

Due to previous cutting of all the trees on the lot, by this company, there is a great danger of run off down the steep slope on Cooper Street side of the lot into Otter Pond Brook then going directly into Lake Sunapee.

This location is where **salmon spawn** every year as well, so may have a great environmental impact on that species.

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Vicki & Linc Jepson
1072 Lake Ave
Georges Mills NH

Sent from my iPad

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Re: [EXTERNAL]Information of potential importance to the Planning and Zoning Board

Allyson Traeger <allyson@town.sunapee.nh.us>

Wed 7/12/2023 10:41 AM

To: Kirk Bishop <kcbishop18@gmail.com>

Cc: Michael Marquise <Michael@town.sunapee.nh.us>

 1 attachments (192 KB)

2023 07 12 Bishop PB Submission.pdf;

Kirk,

I have made a PDF copy of the site you have linked. I have also cc'd Michael on this email for his awareness.

I will add the attachment to the agenda packet for the board's review and have a physical copy in the case file.

Please let me know if you need anything else from me.

Best,

Allyson Traeger
Land Use and Assessing Coordinator
Town of Sunapee
23 Edgemont Rd, Sunapee, NH 03782
Cell: (603) 558-7829

From: Kirk Bishop <kcbishop18@gmail.com>**Sent:** Wednesday, July 12, 2023 10:23 AM**To:** Allyson Traeger <allyson@town.sunapee.nh.us>**Subject:** [EXTERNAL]Information of potential importance to the Planning and Zoning Board

You don't often get email from kcbishop18@gmail.com. [Learn why this is important](#)

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Allyson,

Please forward to Michael Marquise as well, it that is the more appropriate way of getting something to the Zoning and Planning Boards. I couldn't find his email address.

I am particularly interested in getting this in the hands of the members of the Planning Board before tomorrow's meeting. I do plan to be there in person, and will probably make some public comments, but the insight this document provides into the behaviors of the Goodhue Boat Company are, in my opinion, an important part of the puzzle as the Board members figure out how to best represent our community in their deliberations. Goodhue has been trying to do something similar in Meredith NH, but they started several years ago. I think we can learn some lessons from what the concerned citizens of the non-profit group MerNIA (Meredith Neck and Islands Association) have published in this link:

<https://mernia.org/what-is-going-on%3F>

Thank you.

Kirk Bishop
162 Jobs Creek Rd, Sunapee, NH 03782
508-523-9209

[CLICK HERE FOR CURRENT INFORMATION ON GOODHUE REDEVELOPMENT EFFORTS](#)

What Is Going On?

In September 2021, Goodhue presented plans at a public meeting to redevelop their boatyard property. Part of their plans included three requests for exceptions to the Zoning Ordinance. Prior to the public meeting in November 2021, it was brought to the attention of the Zoning Board that the Goodhue Plans included building on top of an existing deeded Right of Way running along the waterfront from the Lower Town Parking Lot to the Tall Pines Condominium property for the benefit of the Tall Pines property owners. The Zoning Board decided to delay hearing the Goodhue Plans until the Right of Way issue was resolved.

In December 2021, Goodhue filed a lawsuit against the 12 Tall Pines property owners contesting the Tall Pines Property owners' claim to the Right of Way. In January 2023, the Belknap County Superior Court ruled that Tall Pines property owners did enjoy the rights to the Right of Way and that it could only be moved or altered by mutual agreement. Meanwhile, ever since December 2021, there had been no indication from Town Officials, even despite regular inquiries by concerned residents, about any plans afoot to redevelop the

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this Planning Board hearing, MerNIA learned that the Town was seeking to adjust the boundary lines over the water so they could proceed with their own plans to improve the Public Docks at Lovejoy Landing. Upon request, the Town released a copy of a proposed Boundary Line Adjustment for this project. The Town's Survey displayed the adjusted property lines over the water, but surprisingly it also displayed designs for Goodhue's redevelopment of their private docks. The Town needed the Select Board to ratify the Boundary Line Adjustment before it went before the Planning Board.

On April 17, 2023, MerNIA's counsel sent a letter to the Meredith Select Board expressing concerns about the inclusion of Goodhue's dock redevelopment plans on the Town's Boundary Line Adjustment Survey. MerNIA contended that the Town's Public Dock project had nothing to do with Goodhue's redevelopment plans, especially since Goodhue had not made any plans public as of yet. At the April 17th Select Board Meeting, the Select Board decided to delay approval of the Boundary Line Adjustment until the Town Counsel could review MerNIA's concerns.

On April 18, 2023, MerNIA became aware of a written Boundary Line Adjustment Agreement and associated Consent Letters. The details of these documents were deeply concerning as they expanded a simple Boundary Line Adjustment to a bundle of Agreements binding Town Officials to consenting to an overall redevelopment of the boatyard. Notably, the parties sought to agree to include the construction of 30 additional parking spaces in the Upper Trailer Lot on Lovejoy Sands Rd. *at the Town's expense*. At first glance this sounds appealing because public parking is scarce at the site.

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Zoning Board reviews in violation of Town Regulations. The Town would be seeking approval to violate its own zoning regulations and Master Plan by seeking approval to expand and to intensify a commercial use in the Shoreline District.

Once these Agreements were made public, many letters opposing the approval of the Agreements were sent by taxpayer residents to town officials. In response to the public outcry, the Select Board delayed the vote pending further review by town attorneys.

On May 15, 2023, the Meredith Select Board held yet another public hearing to once again consider approval of the Boundary Line Adjustment Agreement, this time with some changes to some of the language made in response to public comments. The changes made were insufficient to convince a meeting room full of upset taxpayer residents of the reasons or the need for the Boundary Line Agreement and Consent Letters to be approved.

After many public comments harshly critical of the Town's actions, the Select Board voted unanimously to delay approval once again. This time they asked the town to invite the design firm who drafted the plans for the public dock project to the following Select Board meeting **on Monday, June 5, 2023**, to publicly explain the need for the Boundary Line Adjustment.

On June 5, 2023, the Town Manager abruptly cancelled the Workshop to discuss the Lovejoy Landing Dock Project Update and the subsequent discussion of the Boundary Line Adjustment Agreement and Consents. Notice

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Agreement. The Select Board then voted unanimously to discontinue consideration of the Boundary Line Adjustment Agreement and Consents. The Select Board suggested that Goodhue proceed with its own development plans, which would include public review through the Planning and/or Zoning Boards. The Town would also be able to move forward as it sees fit with their proposed waterfront project, but the Town did not address whether it intended to do so. The Select Board should be applauded for taking a measured, cautious, and pragmatic approach to this.

MerNIA remains very concerned about expansion efforts by Goodhue that will not only have detrimental effects to the physical environment of our residential neighborhood but will also result in further encroachment on the public land and water access for resident taxpayers and their guests.

We truly appreciate your interest, commitment, and support for our shared goals of protecting our lake access, the water quality, and our property values. Maintaining the character of the Neck and Islands is certainly worth our combined efforts! MerNIA will keep you informed, as future developments may unfold quickly.

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https://www.laconiadailysun.com/news/local/meredith-pauses-major-dock-rebuild-plans-awaiting-outcome-of-marina-application/article_d56bec94-1cf9-11ee-a8cd-83408a772940.html

Meredith pauses major dock rebuild plans, awaiting outcome of marina application

By CATHERINE MCLAUGHLIN, THE LACONIA DAILY SUN

Jul 7, 2023

MEREDITH — The Meredith Selectboard decided to pause pursuit of a boundary line adjustment with a Meredith Neck marina, part of town plans to rehabilitate and improve its public lake access infrastructure, at a meeting last month. The pause waves the marina forward to seek approvals for its own renovation ambitions and drives the town to reevaluate its own improvements.

Amid public disapproval of the adjustment as well as uncertainty about exactly where the boundary line is between the town docks on Lovejoy Sands Road and Goodhue Boat Company, the selectboard hit the brakes at a meeting on June 19.

“What we're hearing from folks is that there's a real uncomfortableness about this boundary line adjustment,” Selectboard Chair Jeanie Forrester said at the meeting. “It seems ... the best thing to do right now is to let Goodhue go forward to the planning board.”

Because of the pause, said Town Manager Troy Brown in an interview, the town will refocus on the improvements it can make to that infrastructure and others without boundary line changes, “while we're waiting to see the outcome of [Goodhue's] site plan process.”

No longer waiting to update its site plan with a new boundary line, Goodhue, which owns the marina commonly known as Shep Brown's Boat Basin, is preparing to submit an application to the planning board. Chris Boldt, a longtime attorney for the marina, emphasized in an interview that the current plan is “very, very different” from the one it unsuccessfully submitted in 2021, and said “we're listening to the abutters and trying to strike a reasonable compromise.”

Meredith marina expansion stalled because of objections to moving a right of way

A booming boating industry in recent years has placed huge demands on lake access and marina capacity. Many have long wait lists and are increasing their valet services, where boats are stored on land and launched ahead of each use for customers. The growth also places demands on public access facilities and poses complicated questions about who can or should be able to use them. As more people, residents and visitors alike, flock to the lake, questions about how to accommodate this growth in an environmentally sustainable way run up against longtime residents' protective feelings of the quieter lake experience they have long enjoyed.

Over the last few years, the town developed a plan to restore deteriorating public boat docks and a ramp, to increase and monitor public parking and to better manage storm runoff into the lake at its public boat launch at Lovejoy Landing. To implement that plan, which an engineer presenting to the selectboard emphasized was developed using stakeholder input, the town would need to adjust its boundary line with the neighboring marina.

In talks about an adjustment, according to Brown, “they thought it was best that the town proceed with its project first, and once the lines were adjusted, we would submit our permit and seek approval. Then I think the intent was that Goodhue would start their land use approval process having the lot lines already adjusted.”

At a series of public meetings where the selectboard reviewed and altered the language of the line adjustment agreement, members of the public, many of whom are members of the Meredith Neck and Islands Alliance, or **MerNIA**, expressed disapproval of the adjustment, describing their concern that it was coupled with Goodhue’s endeavor.

The marina first attempted to expand in 2003 and has tried multiple other times in the decades since. In its opposition to expansion, MerNIA cites the zoning protections and limitations at the site and asserts neither the available on-shore resources like parking nor the lake’s ecology can sustain more traffic.

Referring to the outcry from residents about the agreement both in meetings and through direct communication, the selectboard decided to pause its pursuit of the boundary line change. Instead, Brown said, “I recommend that we refocus our efforts on the other waterfront infrastructure.”

Some issues that would have been repaired by the town’s complete plan for Lovejoy Landing could be addressed in the meantime, though others will have to wait for whenever the town is able to pursue its major build plans, according to Brown.

“It was a high-priority project to build new, but we're still going to be required to maintain it,” and “take a look at what maintenance can be done as an interim measure,” Brown said.

Resolving parking issues — including how access to town lots can be tailored to prevent nonresident marina customers from taking spots while still ensuring residents and their guests are not impeded — are one priority. However, “to address runoff at the Shep Brown's facility, it really needs to be addressed as part of the whole reconstruction project.”

The price tag for the project has also nearly tripled — from \$600,000-\$800,000 when it was first explored, to about \$1.8 million — exceeding Meredith's capital reserve funds.

“I think it really did cause the town to step back and say, ‘I think we need to take a better look at this and see if there's a better way that we can accomplish this project,’” Brown said.

“The Select Board should be applauded for taking a measured, cautious, and pragmatic approach,” a June 21 **MerNIA newsletter** reads. “MerNIA remains very concerned about expansion efforts by Goodhue that will not only have detrimental effects to the physical environment of our residential neighborhood but will also result in further encroachment on the public land and water access for resident taxpayers and their guests.”

In an interview, Boldt said the site plan application Goodhue intends to bring to the planning board takes abutters' concerns into account and, rather than growing its footprint, will enrich how the space is currently used.

“I'm not sure I view it as an expansion,” Boldt said. “We're not adding to the number of boats, we're not adding to the number of slips. We're trying to do some things that greatly improve that site for the benefit of everybody that uses the town dock, town parking lot and the Goodhue property.”

Specifically, they are not adding buildings to the marina “in the western part of Lot 8A. We listened to the adjacent property owners and we're putting a parking area there,” Boldt said. “We're not putting in a great big new showroom.” The plans do include, he said, a new storage building and a “rearrange” of the docks. But improvements, he emphasized, are aimed at improving how space is already utilized.

In interviews at the conclusion of the June 19 selectboard meeting, residents expressed both frustration and approval of the selectboard's decision to wait.

Christina Touhey, a resident of nearby Soley Lane, said that, while she disapproved of the boundary line adjustment, she felt it was irresponsible of the town to wait for the marina before pursuing its own project.

“It's just saying, 'We're gonna let them go first,’” Touhey said. In the meantime, “docks are not gonna get fixed and they're gonna continue to disintegrate into a lake. Parking is still going to remain an issue, and dock space is going to remain an issue. So I'm disappointed by that.”

The changes to the town facilities are necessary and worthwhile, Bear Island residents Pam Thompson and Peter Jeffries said. But they are skeptical that improvements to the marina won't draw a larger customer base to the site.

Despite their concerns about the condition of the town's dock and anger over runoff problems, the two said ensuring any major changes to the area came sustainably was their priority, even if it meant delays.

“I don't mind my feet getting wet in the dock that's semi-submerged right now,” Thompson said. Preventing traffic increases in the area and improving water quality, she continued, should be the priority.

“It's not great, and they could well be improved, but you don't want to give away the farm, as a word, just to get better docks,” Jeffries agreed.

[EXTERNAL] Goodhue Proposal

William B. Stockwell <wbstockwell@stockwell.com>

Thu 7/13/2023 7:33 AM

To: Allyson Traeger <allyson@town.sunapee.nh.us>

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Allyson,

Please submit to the Planning Board concerning this evening's meeting:

Case# SPR 23-03 Parcel ID: 0104-0084-0000 Boat Showroom

Goodhue has made a significant investment in detailing their plans.

However, my issue is the traffic at the intersection of Cooper and Springfield Roads and Route 11.

Making a left turn from Springfield Road onto Route 11 is increasingly dangerous.

When I use the Georges Mills Post Office, making a left turn from Lake Avenue onto Route 11 (somewhat blind to what is coming westbound from Route 11) is increasingly dangerous.

There was an accident there yesterday (July 12 @ 6:00 PM)

I have concerns over public safety.

I have been vacationing on Otter Pond and have owned property on Otter Pond since the mid-1990's. I am attracted to the rural character of our Georges Mills village and see the Goodhue Boat showroom affecting this as well.

Please consider the above.

Sincerely,

William and Betty Stockwell

96 Oak Ridge Road

Georges Mills (Otter Pond)

[EXTERNAL] Goodhue discussion

Lin Brown <lin.anita.brown@gmail.com>

Thu 7/13/2023 10:45 AM

To: Allyson Traeger <allyson@town.sunapee.nh.us>

Cc: Lin Brown <Lin.Anita.Brown@gmail.com>

[You don't often get email from lin.anita.brown@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

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I regret that I have another event tonight that precludes my in person participation in the discuss of the Goodhue proposal. I am most opposed to the project for two reasons. The first is traffic. This is already a challenging intersection with many entering roads and several businesses. A boat showroom that may involve other activities will exacerbate the situation.

The second is environmental. The steep slopes of the property already predispose to runoff into the lake and stream exacerbated by clear cutting and then further exacerbated by excavation and the installment of impervious surfaces. As evidenced by this week's massive rain and flooding, this situation is not a hypothetical.

I expect these concerns will lead to more study or the denial of the project.

Lin Brown
110 Oakridge Rd
Georges Mills

Sent from my iPad



